



Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100617880-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	<input type="text" value="ABC Architecture"/>		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	<input type="text" value="Steven"/>	Building Name:	<input type="text"/>
Last Name: *	<input type="text" value="White"/>	Building Number:	<input type="text" value="18A"/>
Telephone Number: *	<input type="text"/>	Address 1 (Street): *	<input type="text" value="Rothesay Place"/>
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	<input type="text" value="Edinburgh"/>
Fax Number:	<input type="text"/>	Country: *	<input type="text" value="SCOTLAND"/>
		Postcode: *	<input type="text" value="EH3 7SQ"/>
Email Address: *	<input type="text"/>		

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Ms"/>	You must enter a Building Name or Number, or both: *
Other Title:	<input type="text"/>	Building Name: <input type="text"/>
First Name: *	<input type="text" value="Zhiping"/>	Building Number: <input type="text" value="37"/>
Last Name: *	<input type="text" value="Xie"/>	Address 1 (Street): * <input type="text" value="Craigmount View"/>
Company/Organisation	<input type="text"/>	Address 2: <input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: * <input type="text" value="Edinburgh"/>
Extension Number:	<input type="text"/>	Country: * <input type="text" value="United Kingdom"/>
Mobile Number:	<input type="text"/>	Postcode: * <input type="text" value="EH12 8BS"/>
Fax Number:	<input type="text"/>	
Email Address: *	<input type="text"/>	

Site Address Details

Planning Authority:	<input type="text" value="City of Edinburgh Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="37 CRAIGMOUNT VIEW"/>
Address 2:	<input type="text" value="CRAIGMOUNT"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="EDINBURGH"/>
Post Code:	<input type="text" value="EH12 8BS"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="673517"/>	Easting	<input type="text" value="318901"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Proposed change of use to form short term holiday let.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please see uploaded accompanying statement for details.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

Accompanying statement and approved building warrant package detailing alterations.

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

23/01031/FULSTL

What date was the application submitted to the planning authority? *

09/03/2023

What date was the decision issued by the planning authority? *

24/05/2023

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Steven White

Declaration Date: 22/08/2023

Application No: 23/01031/FULSTL

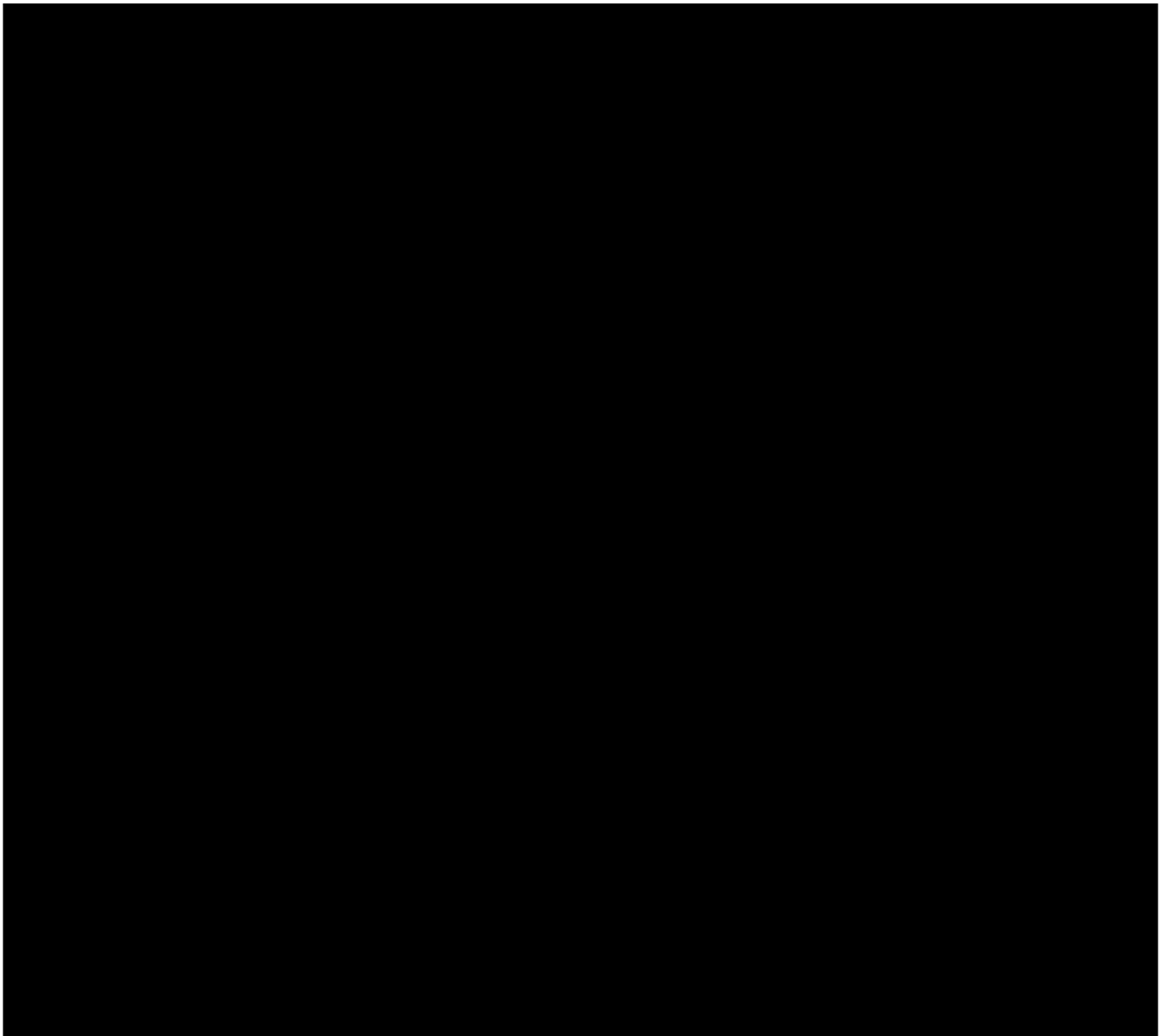
To Whom It May Concern:

My name is Zhiping Xie. My application for changing the use of the property at below address (which the reference number as above):

37 Craigmount view,
Edinburgh,
EH12 8BS

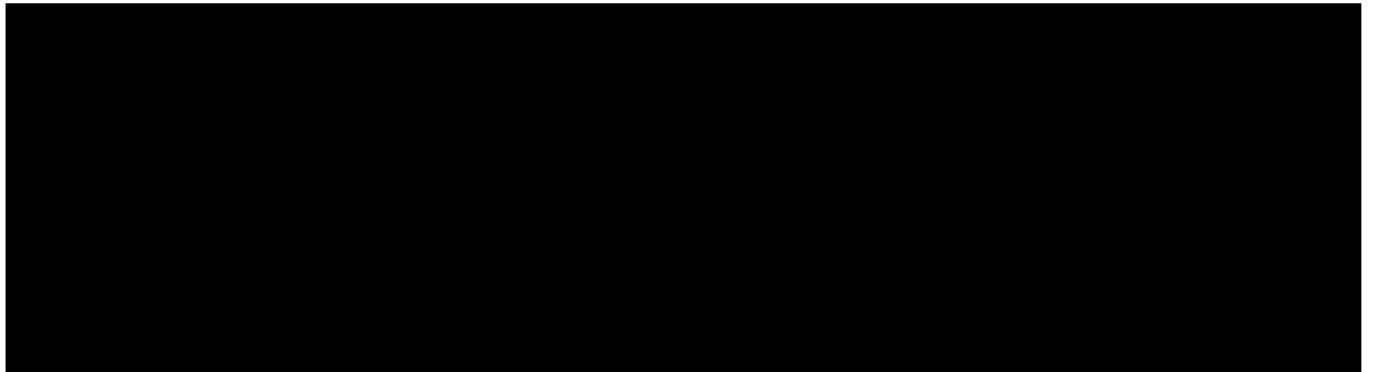
I didn't have an opportunity to express the circumstance on my original application. Now I am appealing the decision and attach my statement as below:

Reason for purchasing this property for holiday let

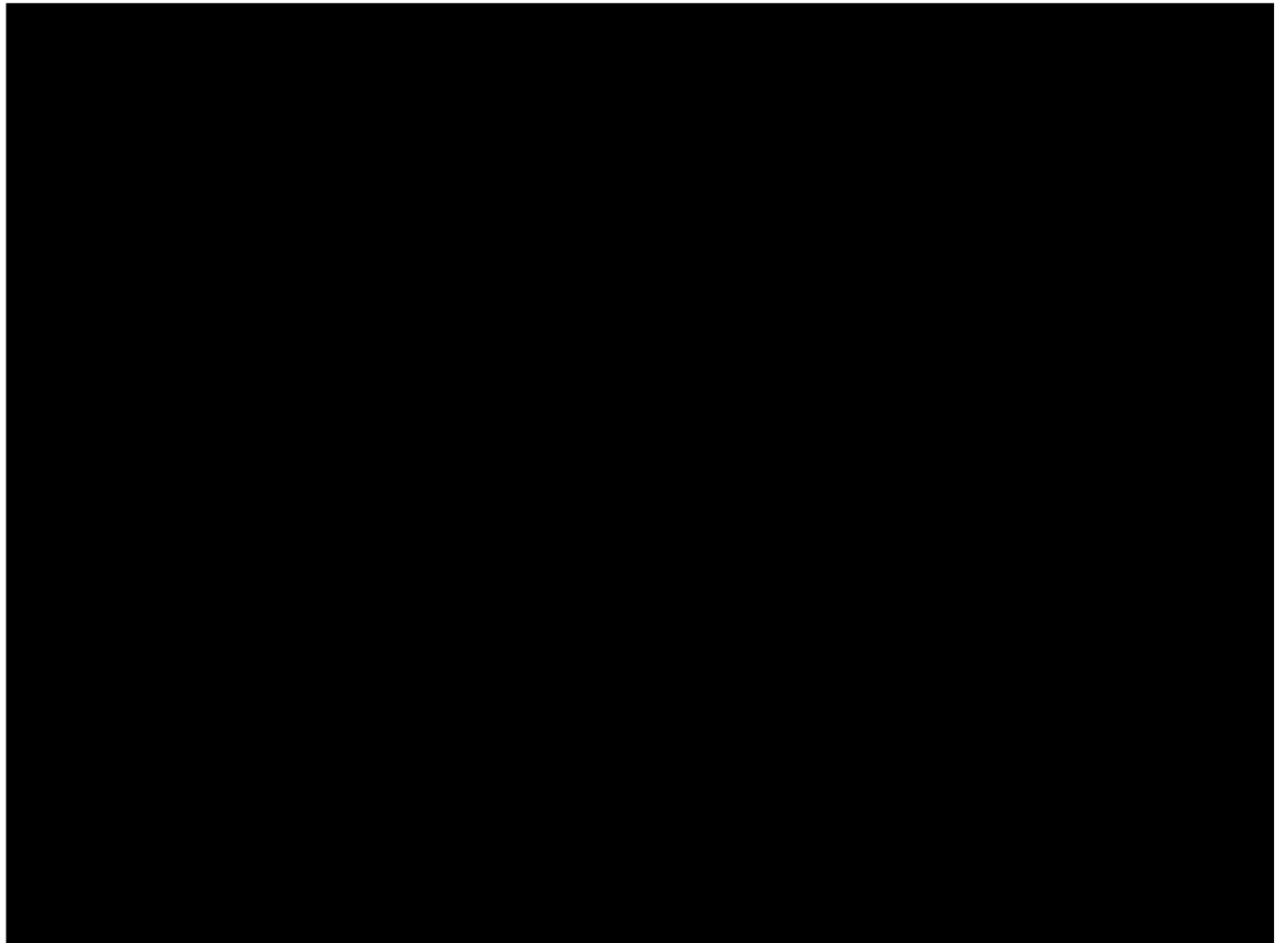




The new licences scheme impact on disabled visitors to Edinburgh



Advice prior to purchasing the property



Adaptation made to the property.

I am attaching the building warrant to show what adaptations we have made to the property in

- 1) widen the entrance door for wheelchair access,
- 2) build a ramp for the front door for wheelchair access,
- 3) widen my son's bedroom door for wheelchair access
- 4) removed the storage cupboards to make a bigger size bathroom and wet room for showers with a shower chair.
- 5) removed the solid wall between the kitchen and living room to create bigger space for wheelchair access,
- 6) installed a bigger door for wheelchair access for entering kitchen and living room.
- 7) replaced the kitchen for wheelchair access spaces.
- 8) put a wooden ramp in the backdoor of the kitchen for wheelchair access.
- 9) upgraded and rewired the whole electrical system and the gas system to meet current regulations.

My statement to the reasons of your refusal of the application

Please allow me to give a response to the reason for refusal:

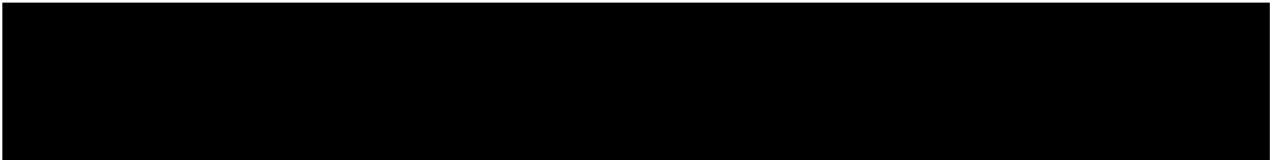
1) The proposal is contrary to Local Development Plan Policy Hou 7 in respect of Inappropriate Uses in Residential Areas, as the use of the dwelling as a short stay let will have a materially detrimental effect on the living conditions and amenity of nearby residents.

I am very experienced in running short-term holiday lets and have done this for over 10 years on Isle of Skye. I would obviously try my best to reduce any impact on residents and local amenities. First, as a short-term holiday let, the property's condition must be maintained in good condition as you are aware. Second, I will install noise level monitor and CCTV for front garden and back garden, so it will notify me if there is any anti-social behaviour happening which is very rare from my experience (I have experienced zero guests who would impact on local residents or next door neighbours, because my self-catering short-term lets are usually for a small family unit or a small group of families/friends which is unlike hotels or guests houses. The vast majority of people on such stays don't want to make any trouble in a strange city in which no one can help them. 3) One of my house rules as Blueprint set out very clear and strictly applies to all guests prohibits the use of the house for any parties or events in the property other than simply as accommodation only. This prevents small groups of friends getting drunk which is when the majority of likely anti-social behaviour happens. Also, I have noise monitor & CCTV surrounding outside the house which should notify me if anything happens. Guests have deposits held by me and they won't want to lose their deposit. Therefore, I have never had any next-door neighbours reporting my guests or having been disturbed by them in the last 10 years on the Isle of Skye.

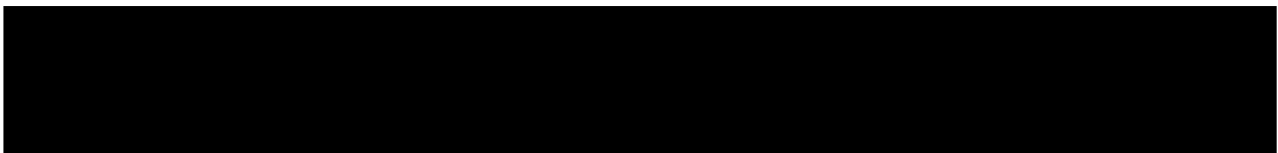
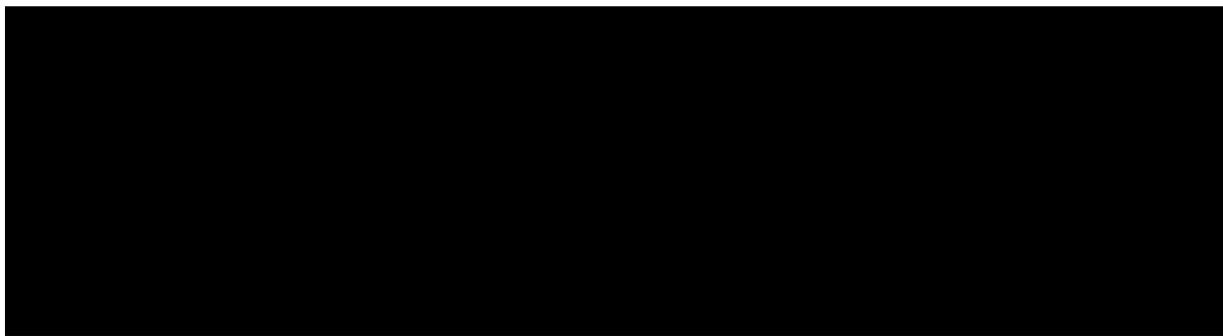
In terms of the impact on local amenities, I expect this to be entirely negligible because the number of guests accommodating in the house would have been the same as if the property was used as a dwelling for a family of 4 or 5 members. It won't increase traffic compared to a normal family home for this local area. Indeed, it's more likely to reduce the traffic as most

guests travelling to a city choose public transport instead of hiring a car (incurring expensive parking charges when they are in a city like Edinburgh). This also helps the local environment. The road in the entrance has very clear vision to any oncoming traffic from both directions. It doesn't create any risk to local road users. There is no additional burden to the local amenities than any local family with 4 or 5 family members who live there.

2) The proposal is contrary to National Planning Framework Policy 30(e) in respect of Local amenity and loss of Residential Accommodation, as the use of this dwelling as a short term stay let will result in an unacceptable impact on local amenity and the loss of a residential property has not been justified.



I respect your concern that the business use can be carried on by a new owner if I sell the property. Therefore, I am willing to accept attached condition to the change of use for 5 years only.



Kind Regards

Zhiping Xie

ABC Architecture
Steven White,
18A Rothesay Place,
Edinburgh,
EH3 7SQ

Date 20 March 2023
Your Ref
Our Ref 23/00417/WARR

Dear Sir(s)/Madam,

APPROVAL OF BUILDING WARRANT
Address: 37 Craigmount View, Edinburgh, EH12 8BS

I'm pleased to let you know that the Council granted a building warrant for your project on 20 March 2023. Your client can now start the work shown in the drawings covered by the warrant.

I've enclosed the following documents:

Building Warrant
important guidance notes which your client and the contractor must be aware of
construction compliance notification plan (CCNP) detailing what we must see and
what can be evidenced with photographs
approved Building Warrant drawings.

Your views are important to us, please take a moment to share your experience in the [national customer satisfaction survey for building standards](#).

Please call Site Inspections on 0131 529 3550, whose working pattern is as follows:

Yours faithfully

Site Inspections

Site Inspections

BUILDING WARRANT

Building (Scotland) Act 2003

Warrant under section 9 for work subject to building regulations.

This warrant is granted by The City of Edinburgh Council in connection with the application by **Ms Zhiping Xie**

Dated: 14 February 2023

Proposal: Internal alterations to provide enlarged family bathroom, changes to access doors, wall removals, installation of external french doors and raised deck area along with all associated works.

For work at: 37 Craigmount View, Edinburgh, EH12 8BS,

The reference number of this building warrant is - 23/00417/WARR

Conditions

The following condition(s) apply:

That the work will be carried out as described in the building warrant and in accordance with building regulations and that nothing in any drawing, specification or other information submitted with the application indicates that the building when constructed will fail to comply with building regulations.

Continuing requirements

There is no requirements in this case.

Security matters

No details or documents are included in this section in this case.

A copy of the agreed plan(s) is/are returned

Signed

Dated 20 March 2023



DAVID GIVAN

Head of Building Standards

For and on behalf of The City of Edinburgh Council

Notes

1. To be considered as a limited-life building expiry must not be more than 5 years from the relevant date, which is the date of notification of acceptance of the completion certificate for the work, or the date of any permission for the temporary occupation or use of the building before acceptance of the completion certificate.
2. For construction, the stages specified in the procedure regulations are -
 - a) construction of foundations, or
 - b) such other stages as the verifier considers appropriate having regard to any guidance issued by the Scottish Ministers
3. For demolition, the stages specified in the procedure regulations are -
 - a) isolation and removal of services, fixtures and fittings,
 - b) isolation and protection of adjacent structures, or
 - c) such other stages, appropriate to the method of demolition, as the verifier considers appropriate having regard to any guidance issued by the Scottish Ministers.
4. It should be noted that where the owner is not the applicant, then the verifier will notify the owner of the grant of the building warrant as is required in terms of section 9(7)(b) of the Building (Scotland) Act 2003.

Important notice

- a) **This building warrant is valid for 3 years. A Completion Certificate must be submitted when the work is complete. If a completion certificate is not submitted within the 3 year period, an extension of the duration of the warrant must be applied for before the expiry original date. For demolitions, an extension must be applied for if the period for demolition specified on the warrant will not end within the 3 year period.**
- b) **The verifier must be notified**
 - A* of the date on which work is commenced within 7 days of such date,
 - B* when any drain has been laid and is ready for inspection or test (unless this work is covered by a certificate of construction),
 - C* when a drain track has been in-filled and the drainage system is ready for a second inspection or test (unless this work is covered by a certificate of construction),
 - D* of the date of completion of such other stages as the verifier may require, and
 - E* of the intention to use an approved certifier of construction.

***How to notify - A, D & E above must be in writing. B & C can be by telephone, or by email or in writing.**

WARNING

A building warrant does not exempt you from obtaining other types of permission that may be necessary, such as planning permission or listed building consent. Consult the local authority if in doubt.

It is an offence to use or occupy the building(s) before obtaining acceptance of a completion certificate, unless the work is alteration only.

◆ EDINBURGH ◆

THE CITY OF EDINBURGH COUNCIL

Planning & Building Standards
PLACE

Important guidance notes

This guidance is for the person who has applied for a Building Warrant, his/her agent and any contractors involved in carrying out work in terms of a Building Warrant applied for on or after 1 October 2012.

The person applying for the warrant is responsible for making sure the building works comply with National Building Regulations - The Building (Scotland) Act 2003.

Please tell us as soon as possible when you will start work on your project. Ask your contractor to download a copy of the site start notification form from the Planning and Building section of our website www.edinburgh.gov.uk, complete it and send it in.

Site inspections

The contractor must allow for inspection stages (as noted on the CCNP) in their building programme so the Council can inspect or use other suitable means to 'make reasonable enquiry' that the works comply with building regulations. The person applying for the warrant is responsible for making sure the work complies with regulations and not the Council. The Council will not supervise the work or inspect every part of the build, so you may wish to consider site supervision or regular inspections.

The timing and frequency of these visits will vary depending the type of project, its size and complexity. The contractor must give the building surveyor at least three working days' notice to inspect the site.

Construction Compliance and Notification Plan (CCNP)

This specifies what we must see, such as drains before they are covered over or made hard to see. If elements are covered over before letting us know or we can inspect them, then we can ask for the works to be opened. This may damage floor or ceiling finishings or mean digging up ground again; at the cost of the person applying for the warrant.

It will also confirm if our Surveyor will accept photographs of certain constructional items before they are covered over.

Photographs

We will only accept photographs specified in your CCNP to help us make "reasonable inquiry" that the work complies with building regulation and the approved plans before verifying a completion certificate.

Photographs can be used to show:

- compliance with approved drawings or the Building Regulations
- that a design feature has been fully complied with
- a construction element of a building
- the dimensions of an element or material
- structural details.

Photographs or any accompanying information accepted must clearly:

- include the date when taken
- indicate what it is about
- if about measurement, evidence the measurement, for example including a tape measure as part of the photograph
- show the construction, structural elements, or materials used
- show the location of the subject of the photograph(s) and from where the photograph(s) was (were) taken.

Construction Compliance & Notification Plan

PROJECT DETAILS

Building address: **37 Craigmount View**

Edinburgh

EH12 8BS

Building Warrant Ref: **23/00417/WARR**

Warrant Applicant's Name: **Ms Zhiping Xie**

Contact details: **buildingstandards.siteinspections@edinburgh.gov.uk - 0131 529 3550**

The Scottish Government require the Council to make “reasonable inquiry” in determining if your work complies with building regulations. It is the applicant’s responsibility to ensure that the works comply with national building regulations, the table below, if followed, will assist the Council in meeting the Government’s requirement of making “reasonable inquiry”.

Notification Point	NOTES FOR APPLICANT
Commencement	Send notice regarding start of work to verifier at least seven days prior to starting on site.
Completion	Submit a completion certificate submission (Form 5) and all required certification, as per list below, via the online ebuildingstandards system or via post.

This document or a copy must be passed to the applicant’s contractor if one is appointed.

Documents to be uploaded via the [ebuildingstandards](#) portal with the completion certificate submission (Form 5), maybe include but are not limited to:

- Electrical Certificate**
- Fire detection certificate**
- Boiler commissioning certificate**
- Gas safe information**

Notes to Applicant/Developer:

This verification process is not a site supervision process. Should this service be required the applicant should engage with a suitable professional.

Responsibility for compliance with the building regulations lies with the relevant person (usually the owner or developer). Therefore, any checks made by a verifier do not remove any responsibility from the relevant person who is required to certify all the completed work as being in accordance with the approved plans, details and building regulations by submitting a completion certificate (Form 5) to the verifier.

Please note that failure to notify the council at the required time may result in a disruptive inspection being required. This could result in a wall, floor or ceiling finish being damaged. The cost of any inspection will be borne by the relevant person in terms of the Building Scotland Act 2003.

1. The owner or developer should notify the verifier at the target key construction stages above, to allow the verifier to check compliance with building regulations. The number and nature of the site inspections may vary according to the type of works being undertaken.
2. Notification should allow a minimum of ten working days for the council to respond.
3. Once the applicant or developer is satisfied the project is complete and complies with Building Regulations, they must sign and submit the completion certificate (Form 5) to the Verifier. The submission should also include the additional supporting information required by the verifier as outlined in the CCNP.

The use of a Form K should only be submitted by email to the email address provided overleaf as any submission made via the [ebuildingstandards](#) portal will not notify the verifier.

Any reference in this document to “Verifier” means The City of Edinburgh Council acting as verifier in terms of The Building (Scotland) Act 2003.

Alternative Evidence

Verification checks throughout construction will normally be via onsite or video inspections although other methods can be used to check for compliance with the building regulations.

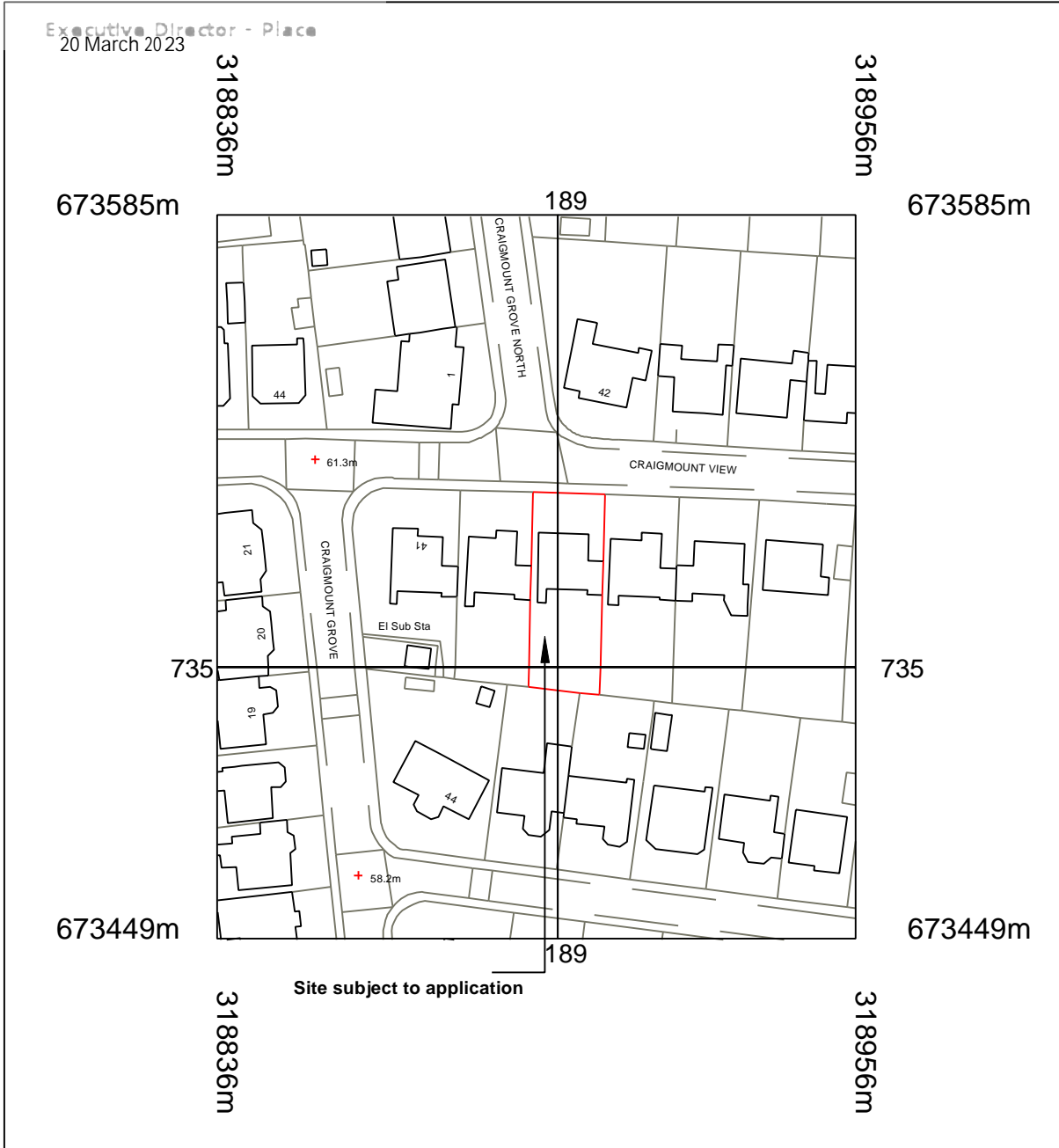
Photographs can be accepted, **with prior agreement**, by building standards staff to aid the process of “reasonable inquiry” in the acceptance of completion certificates.

Photographs or any accompanying information accepted should:-

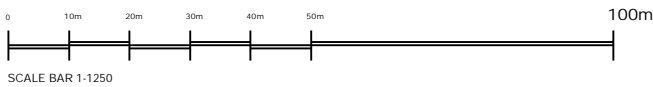
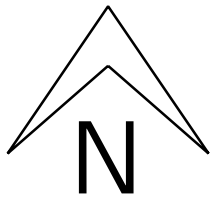
- Give clear indication as to the date the photograph was taken
- Give clear indication as to the subject matter
- If used to indicate a measurement, give conclusive evidence of the measurement in question. For example this may be by having a tape measure as part of the photograph
- Give clear and unambiguous indication of the construction, structural elements, or materials used
- Contain in the photograph a clear indication of the location of the subject of the photograph(s) and where the photograph(s) was (were) taken from.

It is good practice to keep a photographic record of all works as they progress as they may be required by the verifier, **however these should not be emailed to the building standards surveyor or uploaded to the ebuilding Standards Portal unless specifically requested to do so.**

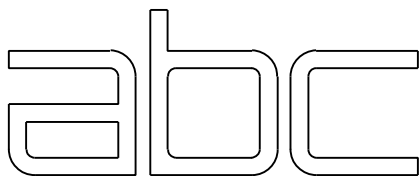
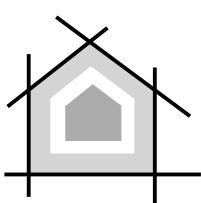
Executive Director - Place
20 March 2023



Copyright of Ordnance Survey
Paper Map Copying Licence
Account number 100058262



X	XXXXXXXXXXXXXXXXXX	XXXXXX XX	XX
Rev	Description	Date	By Chk'd



Architectural Building & Design Consultants Ltd

18a Rothesay Place, 0131 510 8555 Edinburgh abcarchitecture.co.uk
Edinburgh EH3 7SQ 01368 908 222 Dunbar enquiries@abcarchitecture.co.uk

Project
37 Craigmount View Corstorphine.

Drawing Title
Location Plan

Client
Zhiping Xie

Project ref.
REF No.514

Drawing No.
00

Issue status
Warrant

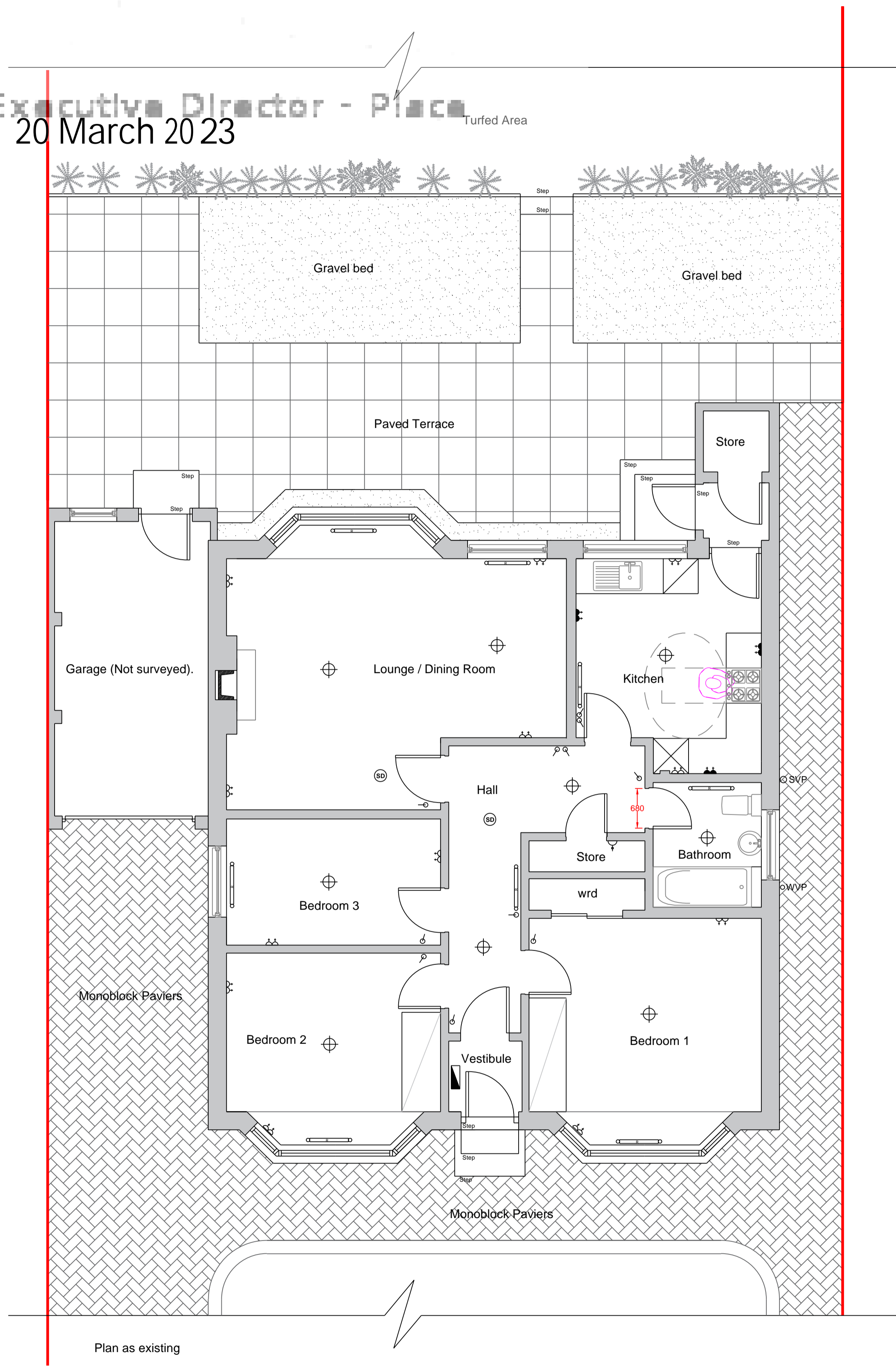
Scale Print
1:1250 A4

Date
13/02/22

Drawn by
sjw

Ch'd by
XXX

Executive Director - Place
20 March 2023



North elevation as existing



South elevation as existing

Unforeseen works
It is not always possible to identify all elements of construction of an existing building without carrying out extensive disruptive surveys at an early stage. The client should make allowance within their contingency for any costs associated with unforeseen works uncovered as the works progress.

CDM (Construction - Design and Management) 2015
In order to avoid foreseeable risks The Principal Designer has eliminated hazards where reasonably practicable at the design phase. Where foreseeable hazards could not be designed out and in order to reduce the risk associated with those that remain, the following hazards have been identified:

- 1.
- 2.

Rev	Description	Date	By	Chk'd
X	XXXXXXXXXXXXXXXXXX	XXXXXX XX	XX	

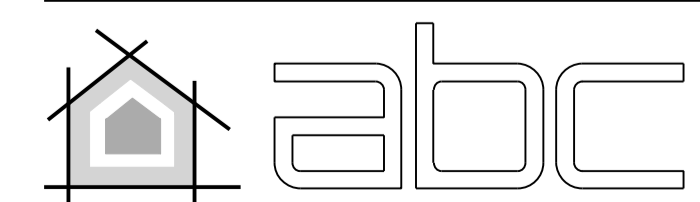
Project: 37 Craigmount View Corstorphine.

Drawing Title: As existing

Client: Zhiping Xie

Project ref: REF No.514 01 Issue status: Warrant

Scale: 1:50 Print: A1 Date: 05/11/22 Drawn by: sjw Chk'd by: XXX



18a Rothsey Place, Edinburgh EH3 7SQ
0131 510 8555 Edinburgh 01368 908 222 Dunbar enquiries@abcarchitecture.co.uk



SCALE BAR 1-50

© Copyright of Architectural Building & design Consultants Ltd

Drawings to be read & fully understood before work commences. IF IN DOUBT ASK. Use figured dimensions only.

All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to ABC Ltd

Executive Director - Place
20 March 2023

EXTERNAL FRENCH STYLE DOOR SET:
UPVC fully weather sealed, double glazed door sets or approved equal.
glazing - 4:14:6.8 argon-filled, low-e with warm edge glazing and 6.8mm Laminated glass
to BS 6262: Part 4: 2018 or equiv'.
U value 1.40W/m2K
Units to be designed and constructed to be compliant with BS 644: 2012 in accordance with standard 4.13.4
Door must have a single point locking system for keyed BS 3621:2017 for keyed egress.
Door must be hung of 1.5 pair hinges meeting recommendations of BS EN 1935:2002

**CONTRACTOR MUST FULLY DISCUSS ALL ASPECTS OF DOORS WITH CLIENT PRIOR TO ORDER.
HARD SITE SIZES MUST BE TAKEN PRIOR TO ORDER AND MANUFACTURE!**

Natural daylight to be provided to each apartment with a minimum glazed area to windows of 1/15th of the respective room area.

All glass to be laminated 6.8mm safety glass and clearly kitemarked. All glazing to comply with BS 6262-4:2018 and BS EN 12600.

Supply and install vertical and horizontal Damcor insulated DPCs around door/window frame and wall junctions.

Full draught stripping to all frames and openings of doors.
Seal any service penetrations and dry lining junctions using expanding foam fillers and mastic sealants to limit air infiltration to property to comply with technical standard 6.2.5.

All works must be carried out as to ensure there are no gaps or thermal bridges in accordance with technical standard 6.2.4.

Laminated safety glass and clearly kite marked. All glazing to comply with BS 6262-4:2018 and BS EN 12600.

Doors and windows to be Secure by design Homes 2019 compliant with 4.13.2 or 4.13.3 should be tested and certified by a notified body as meeting a recognised standard for security such as PAS 24:2016 for door sets or PAS 24: 2016 for windows. The door set should include a single-point locking device to BS 3621: 2017 4.13.5 To ensure a robust installation, fixing of a door set should be in accordance with the recommendations given in section 8 of BS 8213-4: 2016.

All windows to be fully reversible and cleanable from within a room in accordance with BS 8213.

Ensure that manual controls of openable windows have for safety reasons to comply with standard 4.8.5 must have controls for opening positioned at least 350mm from internal corners, projecting walls or other similar obstruction and at a height of not more than 1700mm above FFL.

In situations where access to the controls is limited by a fixed obstruction of not more than 900mm high which projects not more than 600mm in front of the position of the controls then the controls should be positioned at no more than 1500mm above FFL.

Full draught stripping to all frames and openings of doors, windows and roof lights.
Seal all service penetrations and dry lining junctions between walls, ceilings and doors to limit air infiltration to property to comply with technical standard 6.2.5. All works must be carried out as to ensure there are no gaps or thermal bridges in accordance with technical standard 6.2.4.



Unforeseen works

It is not always possible to identify all elements of construction of an existing building without carrying out extensive disruptive surveys at an early stage. The client should make allowance within their contingency for any costs associated with unforeseen works uncovered as the works progress.

X	XXXXXXXXXXXXXXXX	XXXXXX	XX	XX
Rev	Description	Date	By	Chk'd

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Drawings to be read & fully understood before work commences. **IF IN DOUBT ASK.** Use figured dimensions only.

All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to ABC Ltd

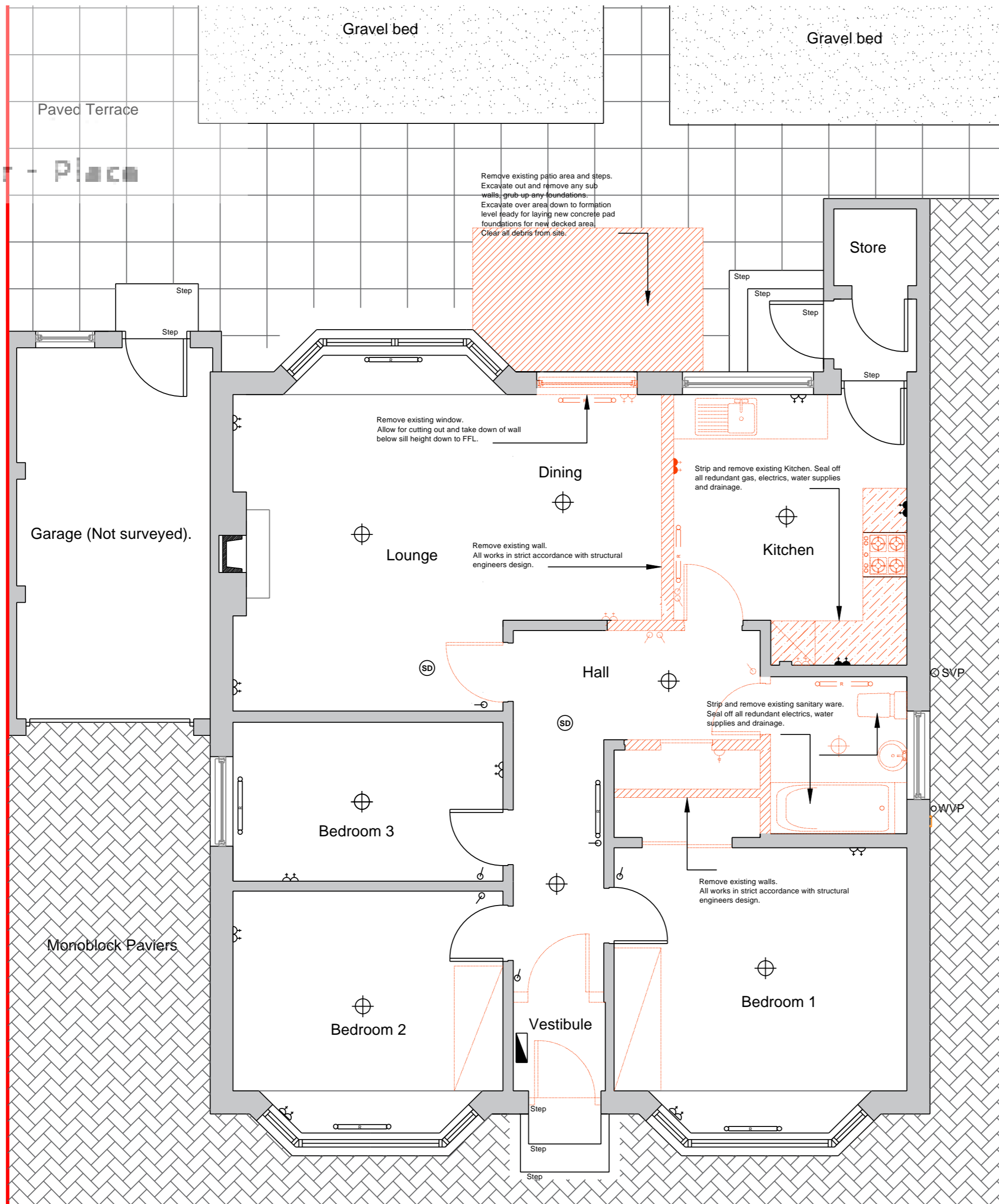
SCALE BAR 1-50

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18a Rothesay Place, Edinburgh EH3 7SQ | 0131 510 8555 Edinburgh | 01368 908 222 Dunbar | abcarchitecture.co.uk | enquiries@abcarchitecture.co.uk

Project: **37 Craigmount View Corstorphine.**
Drawing Title: **Elevation as proposed**
Client: **Zhiping Xie**

Project ref.	Drawing No.	Issue status
REF No.514	04	Warrant
Scale	Print	Date
1:50	A3	05/11/22
Drawn by	Ch'd by	
sjw	XXX	

Executive Director - Place
20 March 2023



Building Standards Notes:

- 1.1 Structural engineers drawings and SER to follow.
- 3.12.3 The shower area is a wet floor shower room, there will be no fixed shower tray or screen impeding access or interfering with activity spaces.
- 3.14.4 New patio doors will be fitted with 12000mm² trickle vents to frame heads.
- 4.2.6 The clear opening width of the Kitchen and Bathroom doors will be 820mm as a minimum.

Unforeseen works

It is not always possible to identify all elements of construction of an existing building without carrying out extensive disruptive surveys at an early stage. The client should make allowance within their contingency for any costs associated with unforeseen works uncovered as the works progress.

CDM (Construction - Design and Management) 2015

In order to avoid foreseeable risks The Principal Designer has eliminated hazards where reasonably practicable at the design phase. Where foreseeable hazards could not be designed out and in order to reduce the risk associated with those that remain, the following hazards have been identified :

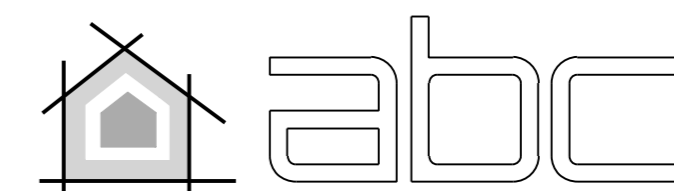
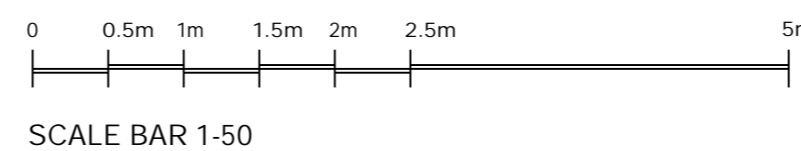
- 1.
- 2.
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X	XXXXXXXXXXXXXXXX	XXXXXX	XX
Rev	Description	Date	By Chk'd

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Project
37 Craigmount View Corstorphine.

Drawing Title
Existing plan showing demolitions

Client
Zhiping Xie

Project ref. **REF No.514** Drawing No. **02A** Issue status **Warrant**

Scale **1:50** Print **A2** Date **05/11/22** Drawn by **sjw** Ch'd by **XXX**



SER CERTIFICATION DOCUMENTS

Project name :	37 Craigmount View, Edinburgh	Approved Body ref :	SER1-DB-0308
Project reference:	30105	Certifier ref :	SER1-D-00115
Verifier :	Edinburgh		

SUMMARY OF DOCUMENTS ATTACHED

Structural Drawings :	30105 - 01
Architectural Drawings Submitted for Building Warrant:	514-01 As existing, 514-02A Demolitions, 514-03A Plan as proposed, 514-04 Elevation as proposed
Other Documents:	

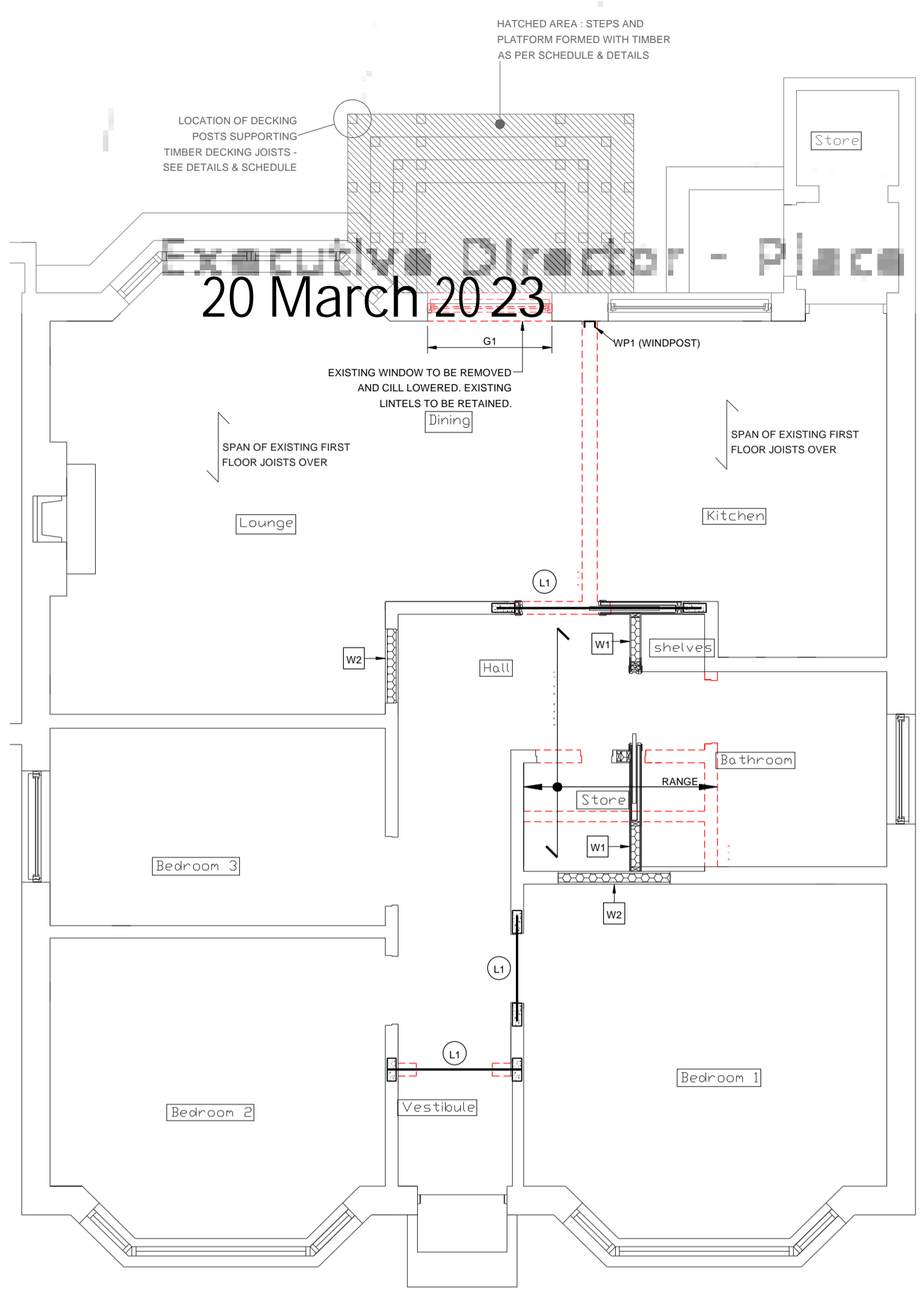
ATTACHED ITEMS REQUIRED FOR CERTIFICATION

Design Calculations :	YES
Specifications :	NO
Site Investigation :	NO
Building Survey :	YES

COMMENTS

--

Executive Director - Place
20 March 2023



PROPOSED GROUND FLOOR PLAN (1:50)

WALL SCHEDULE table with columns REF, DESCRIPTION, and details for wall types W1 and W2.

JOIST SCHEDULE table with columns REF, DESCRIPTION, and details for joist J1.

POST SCHEDULE table with columns REF, DESCRIPTION, and details for post WP1.

LINTEL & BEAM SCHEDULE table with columns REF, DESCRIPTION, PROPPING LOADS, and MAXIMUM STRUCTURAL OPENING.

DECKING SCHEDULE table with columns REF, DESCRIPTION, and details for foundations, decking posts, bearers, joists, and bearer @ wall.

Notes regarding maximum structural opening sizes and resin anchors.

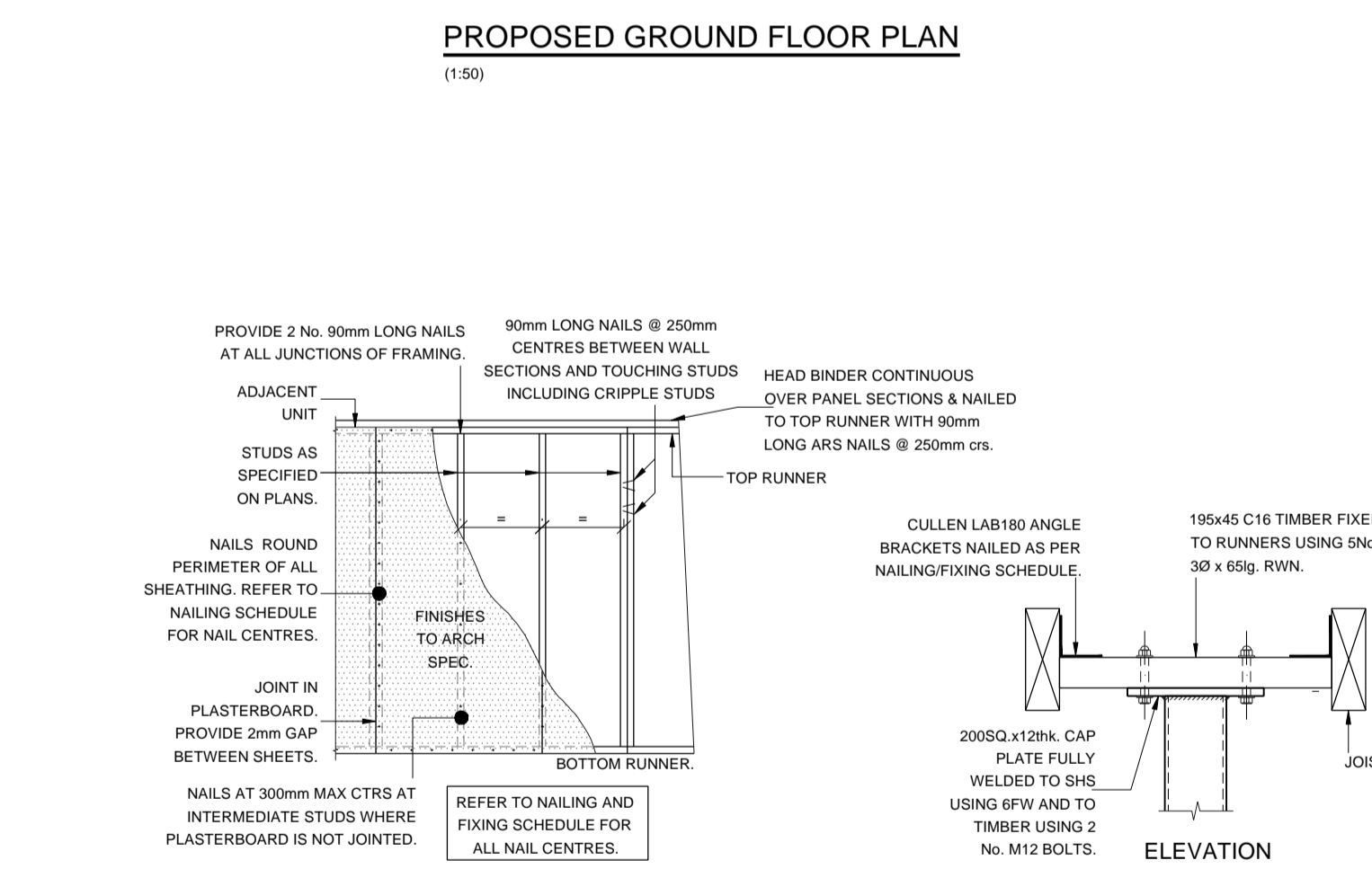
NON STRUCTURAL FINISHES OMITTED REFER TO ARCH. SPEC.

DECKING SCHEDULE table (continued) with columns REF, DESCRIPTION, and details for foundations, decking posts, bearers, joists, and bearer @ wall.

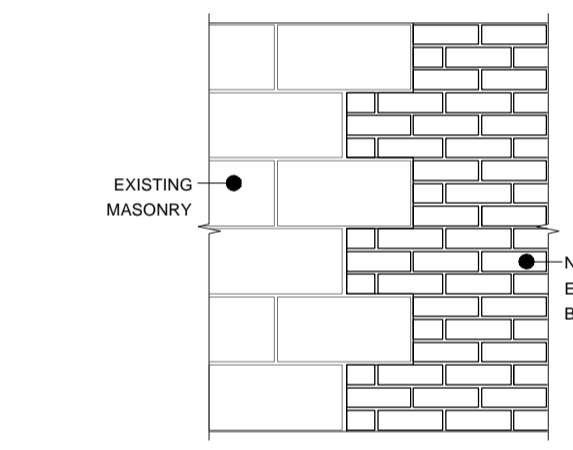
GLAZING SCHEDULE table with columns REF, DESCRIPTION, FIXING OF FRAME TO SUBSTRATE, MAXIMUM WIDTH, MAXIMUM HEIGHT, WIND CLASS, and CERTIFICATE TYPE & NUMBER.

NAILING AND FIXING SCHEDULE table with columns ITEM, RECOMMENDED FIXING, and details for wall panels, sole plate, timber to steel, and floor joists.

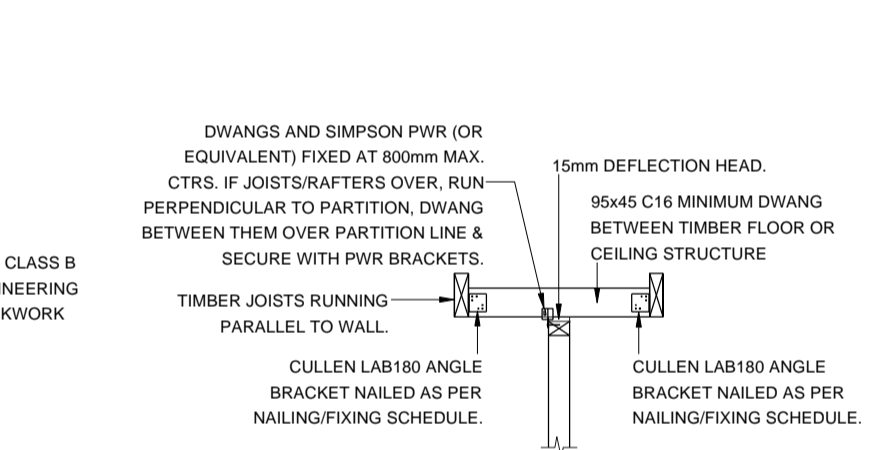
- GENERAL NOTES: 1. THE SER CERTIFICATE(S) AND WARRANT PLAN(S) HAVE BEEN ISSUED IN SUPPORT OF AN APPLICATION FOR BUILDING WARRANT UNDER THE BUILDING (SCOTLAND) ACT 2003 ONLY...



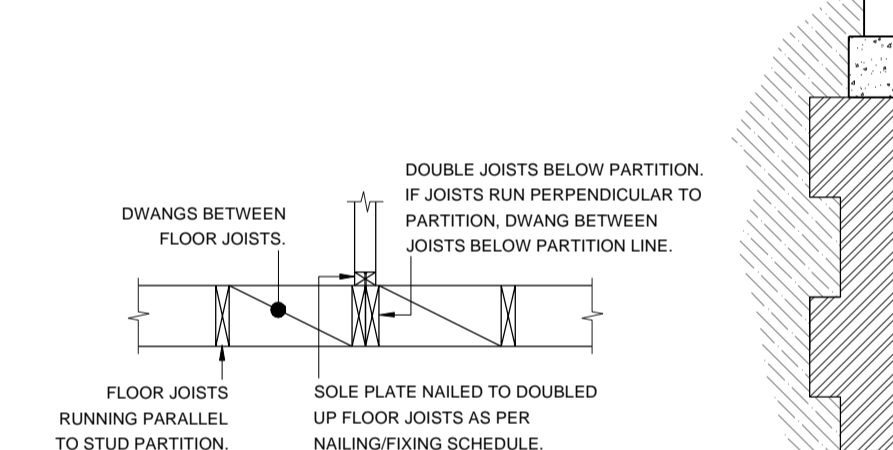
INDICATIVE INTERNAL WALL PANEL DETAILS (NTS)



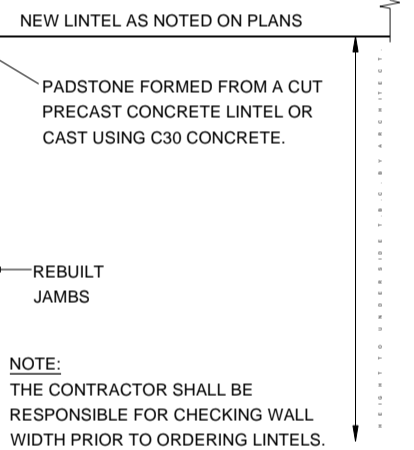
TOOTH STITCH DETAIL (1:25)



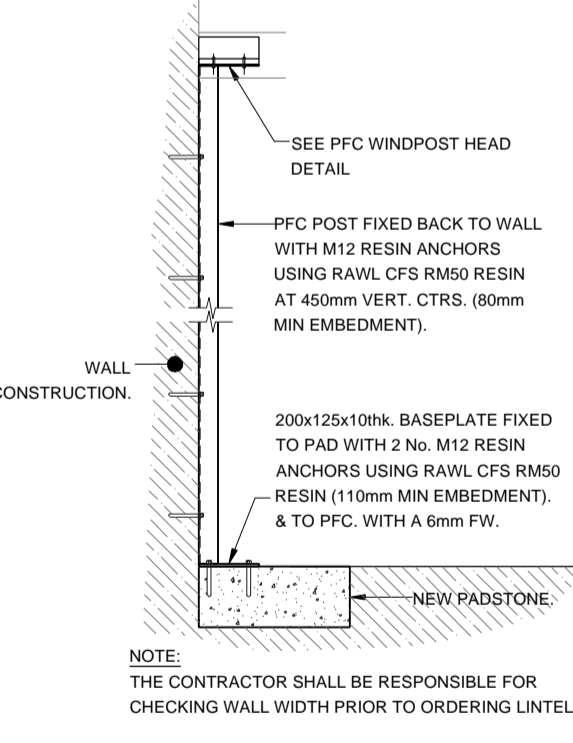
INTERNAL NLB STUD PARTITION HEAD DETAIL (1:25)



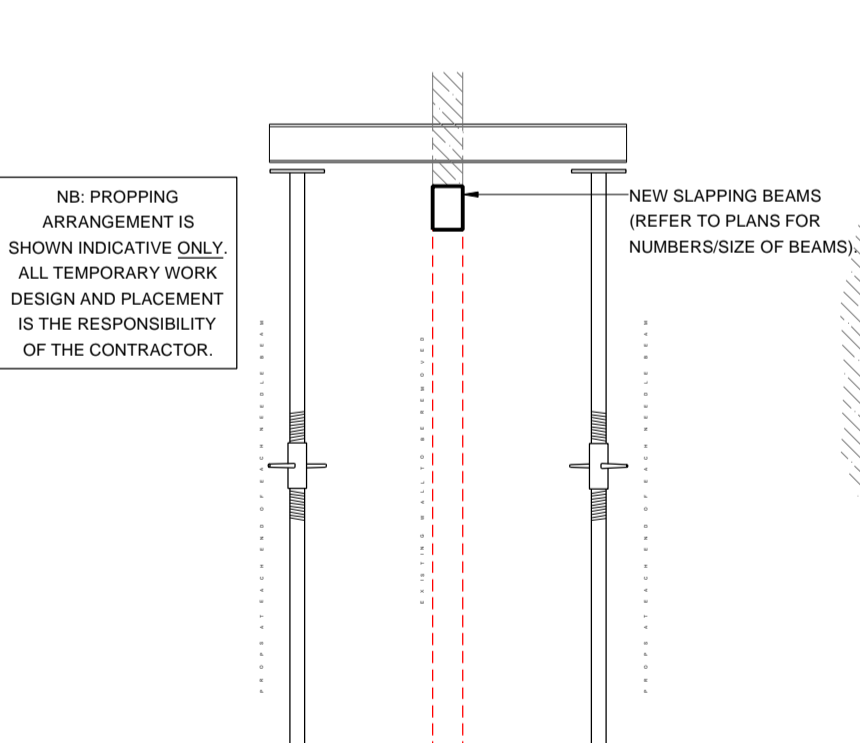
INTERNAL STUD PARTITION BASE DETAIL (1:25)



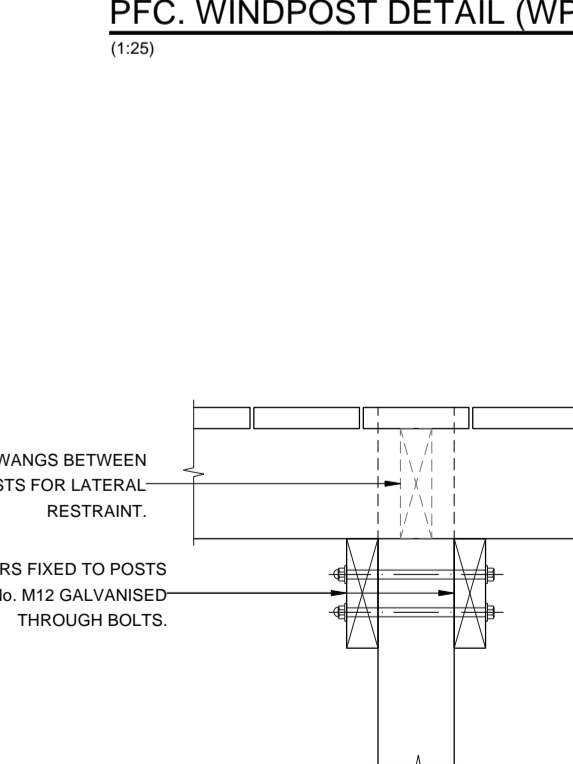
PADSTONE DETAIL (@ CONCRETE LINTEL) (1:25)



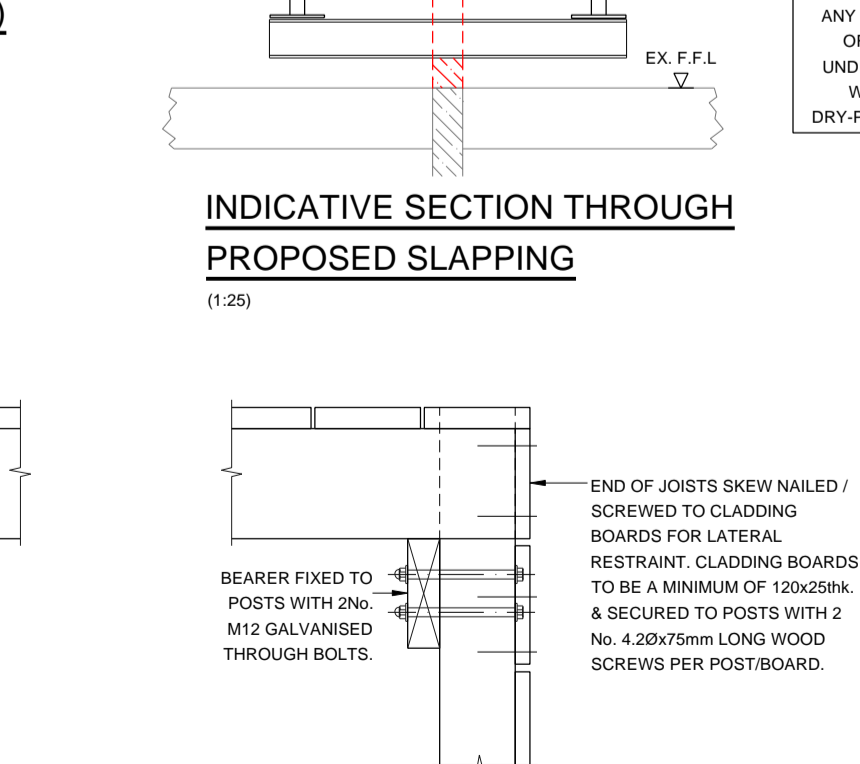
WP1 HEAD DETAIL (1:10)



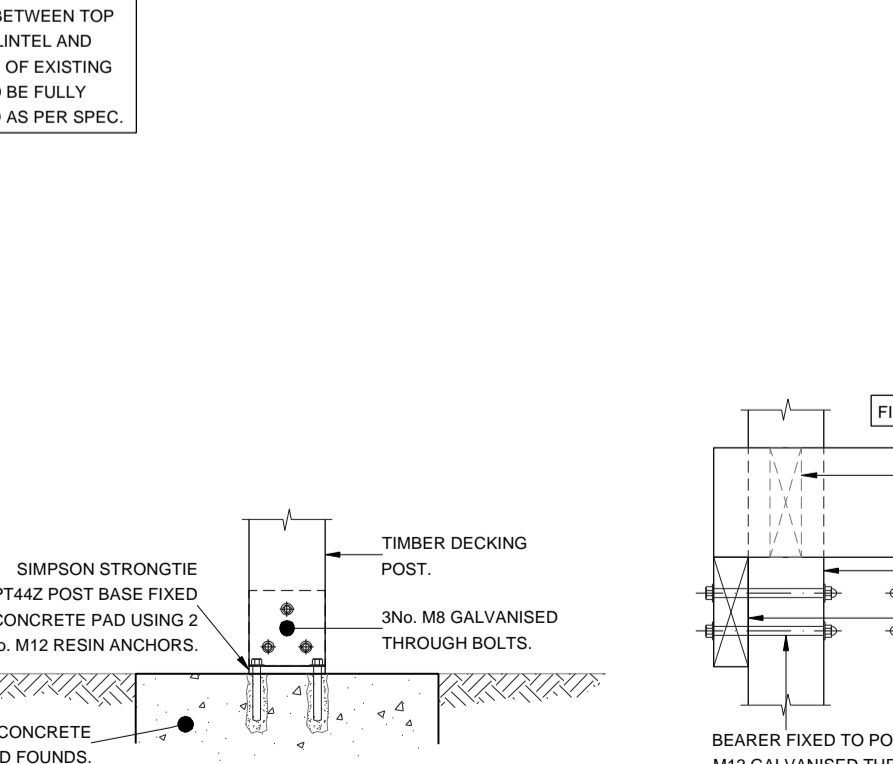
INDICATIVE ELEVATION ON PROPOSED SLAPPING (NTS)



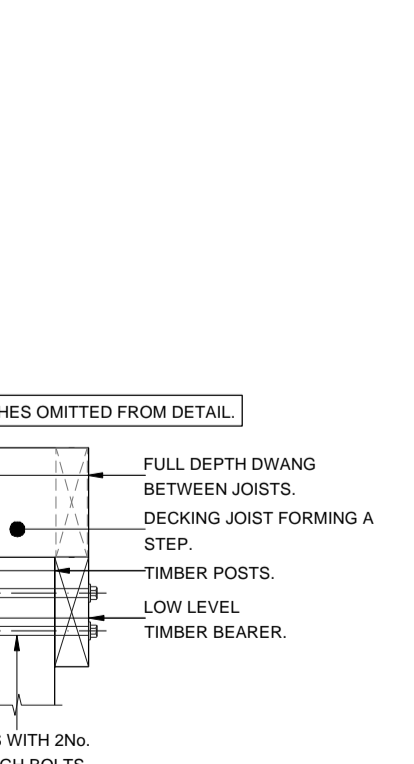
PFC WINDPOST DETAIL (WP1) (1:25)



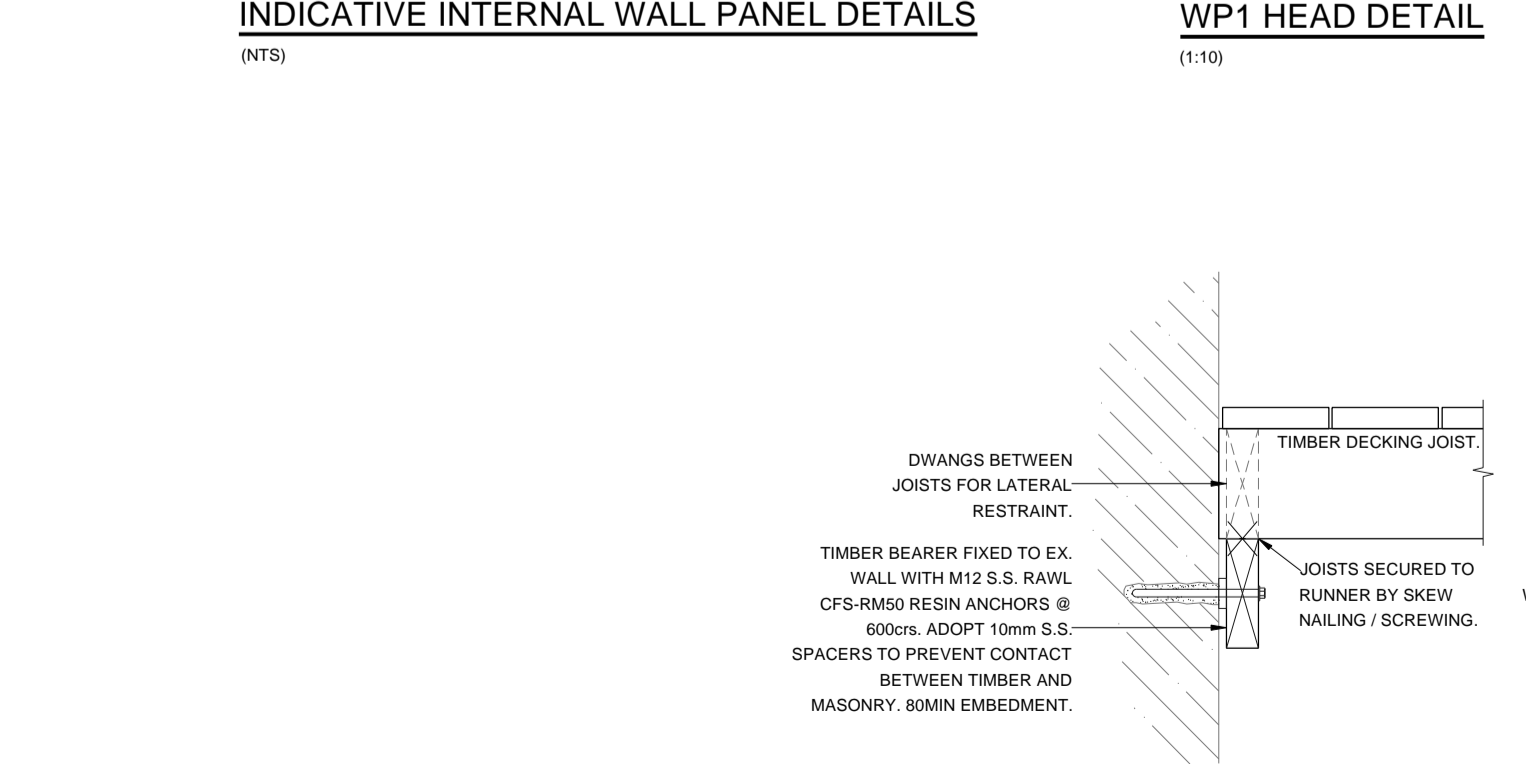
INDICATIVE SECTION THROUGH PROPOSED SLAPPING (1:25)



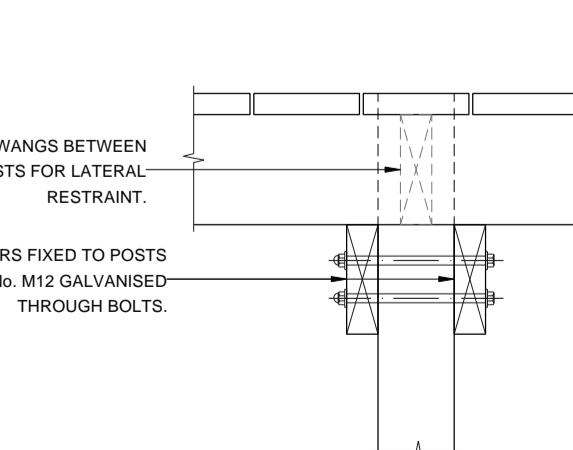
DECKING POST BASE CONNECTION DETAIL (1:10)



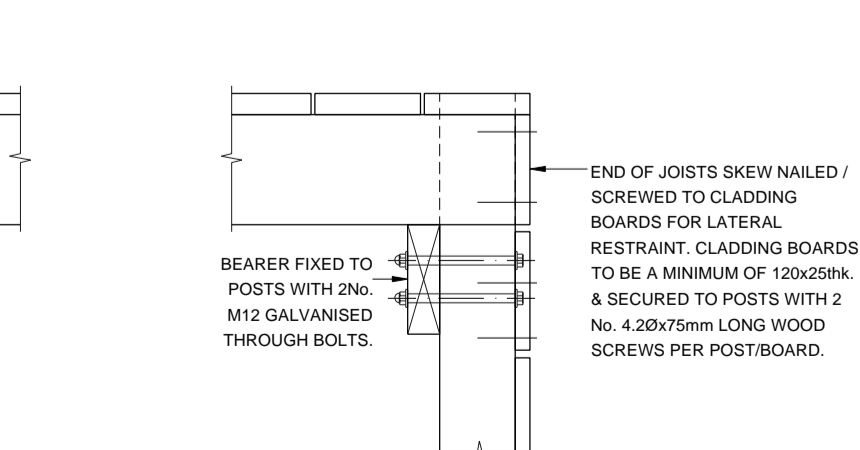
DECKING STAIR DETAIL (1:10)



BEARER TO MASONRY CONNECTION DETAIL (1:10)



INTERMEDIATE POST SUPPORT DETAIL (1:10)

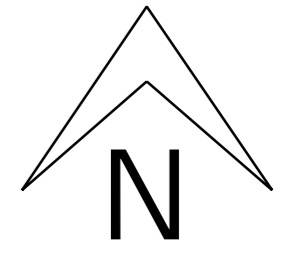
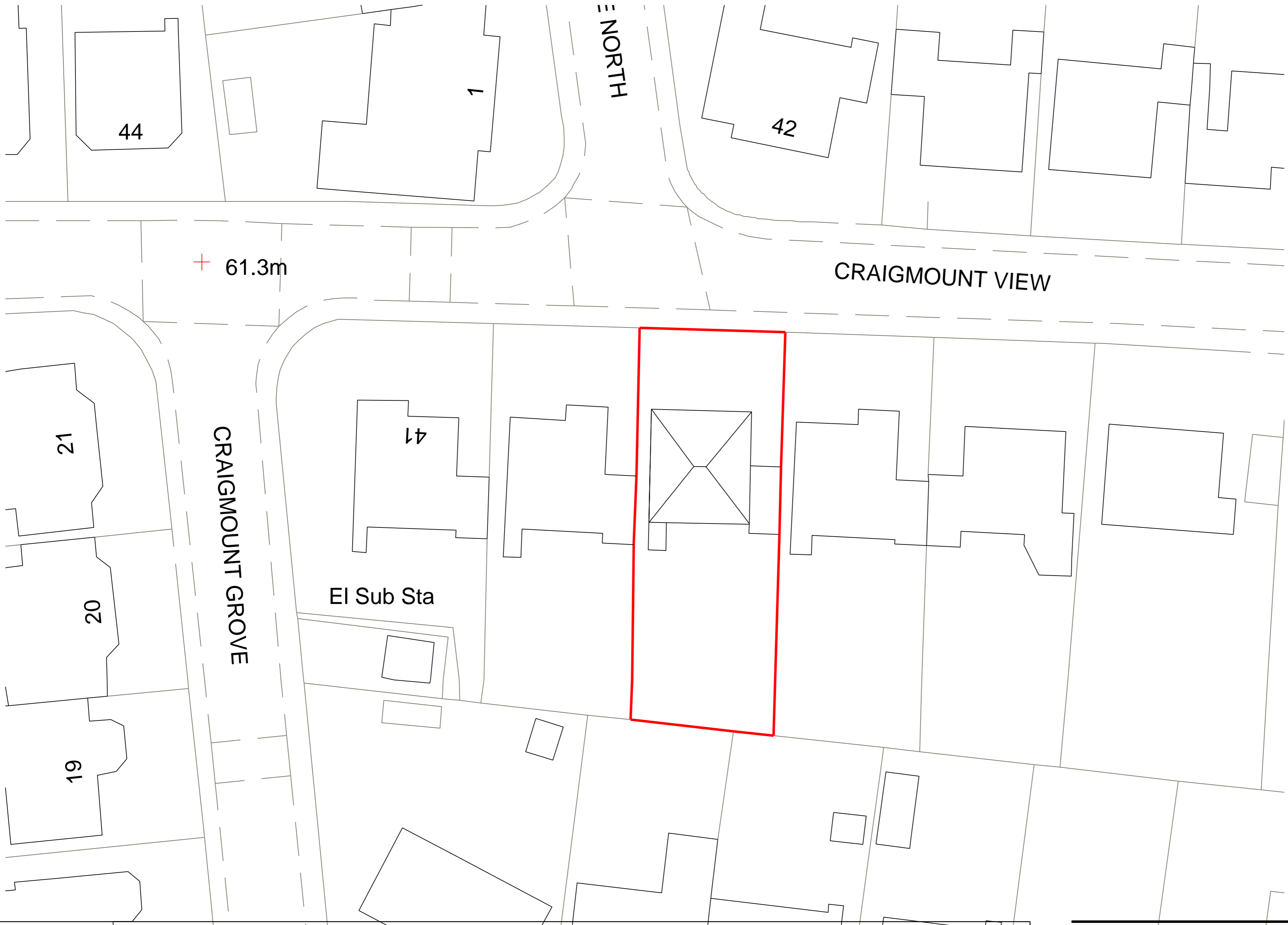


DECKING JOIST SUPPORT DETAIL (1:10)

- FOUNDATION NOTES: 32. NEW FOUNDATIONS TO BE CAST ON NATURAL UNDISTURBED GROUND U.N.O. ON THE DRAWINGS, WITH A MINIMUM SAFE BEARING CAPACITY OF 100kN/m² ONTO A DENSE SANDY GRAVEL BECOMING SANDY CLAY. SOFT SPOTS TO BE REMOVED AND REPLACED WITH GEN 1 MASS CONCRETE.

Revision table with columns Rev, Comment, Date, and By.

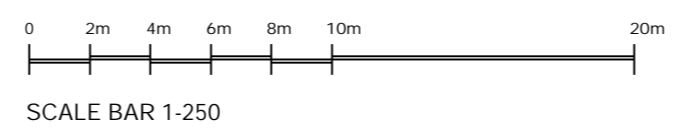
Structural Design Consultants EDINBURGH | GLASGOW | GALASHIELS | KIRKCALDY Project: 37 Craigmount View Edinburgh Drawing title: PROPOSED STRUCTURAL ALTERATIONS PROPOSED PLAN, DETAILS & NOTES Contract Number: 30105 Issue Status: Building Warrant Drawn/Checked: DMJ / FT Scale: AS NOTED Date: Feb '23 Drawing no: 01 Revision: SDC Ltd, 18a Rothesay Place, Edinburgh EH3 7SQ. T: 0131 220 1113 E: admin@sdcelm.co.uk www.structuralsdesignconsultants.com



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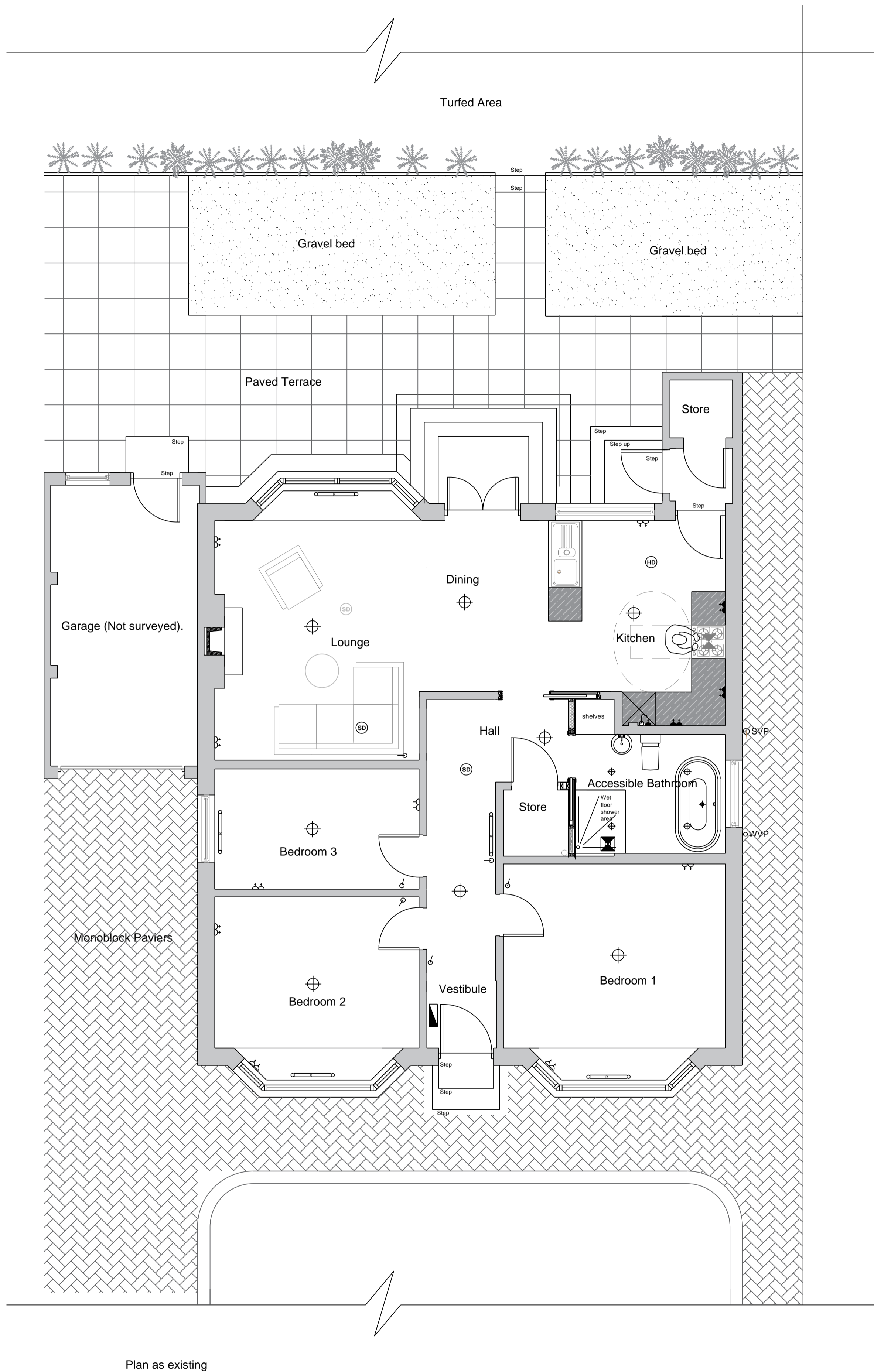
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Unforeseen works			
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X	XXXXXXXXXXXXXXXX	xxxxxx	xx
Rev	Description	Date	By Chk'd

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 0131 510 8555 Edinburgh 01368 908 222 Dunbar
 abcarchitecture.co.uk enquiries@abcarchitecture.co.uk

Project 37 Craigmount View Corstorphine.			
Drawing Title Block plan			
Client Zhiping Xie			
Project ref. REF No.514	Drawing No. 02	Issue status Warrant	
Scale 1:250	Print A2	Date 05/11/22	Drawn by sjw
			Ch'd by XXX



Plan as existing



North elevation as existing



South elevation as existing

Supporting Statement:

The proposal put forward by the applicant are for the change of use of No.37 Craigmound View to form short term holiday rental accommodation.

The existing building comprises a 3 bedroom detached bungalow, which has recently been renovated to include an open plan Kitchen/Living/Dining space at the rear of the property, along with works to the bathroom to allow the formation of a larger accessible wet floor sanitary facility. The property also includes a garage and adequate off street parking for 3 vehicles.

The applicant has also further upgrade facilities, widening the main access door, increased internal door widths and made changes to the main access plat with movable ramps to accommodate guests which have specific mobility needs. The applicant has a severely disabled son, which has given her first hand experience of the challenges involved when taking a person with a high level of personal needs out of their home environment to travel, she also has first hand evidence of the lack of STL accommodation in the Edinburgh city area which can accommodate a family or individual with carer's who require a high degree of personal assistance in every aspect of their day to day lives.

It is from her experiences drawn upon, that she wishes to provide a property which will be finished to a level suitable to accommodate a person with these specific needs.

Unforeseen works

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Rev	Description	Date	By	Chk'd
X	XXXXXXXXXXXXXXXX		xxxxxx	xx

Project: 37 Craigmound View Corstorphine.	
Drawing Title: As existing	
Client: Zhiping Xie	
Project ref: REF No.514	Drawing No: 01
Scale: 1:50	Date: 05/11/22
Print: A1	Drawn by: sjw
	Chk'd by: XXX

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