

Business Centre G.2 Waverley Court 4 East Market Street Edinburgh EH8 8BG Email: planning.support@edinburgh.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100617880-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

≤ Applicant T Agent

			— · +F · · · · · · · · · · · · · · ·	
Agent Details				
Please enter Agent details	s			
Company/Organisation:	ABC Architecture			
Ref. Number:		You must enter a Bu	uilding Name or Number, or both: *	
First Name: *	Steven	Building Name:		
Last Name: *	White	Building Number:	18A	
Telephone Number: *		Address 1 (Street): *	Rothesay Place	
Extension Number:		Address 2:		
Mobile Number:		Town/City: *	Edinburgh	
Fax Number:		Country: *	SCOTLAND	
		Postcode: *	EH3 7SQ	
Email Address: *				
Is the applicant an individual or an organisation/corporate entity? *				
T Individual \leq Orga	nisation/Corporate entity			

Applicant Details				
Please enter Applicant details				
Title:	Ms	You must enter a Bui	lding Name or Number, or both: *	
Other Title:		Building Name:		
First Name: *	Zhiping	Building Number:	37	
Last Name: *	Xie	Address 1 (Street): *	Craigmount View	
Company/Organisation		Address 2:		
Telephone Number: *		Town/City: *	Edinburgh	
Extension Number:		Country: *	United Kingdom	
Mobile Number:		Postcode: *	EH12 8BS	
Fax Number:				
Email Address: *				
Site Address	Details			
Planning Authority:	City of Edinburgh Council			
Full postal address of th	e site (including postcode where available)	:		
Address 1:	37 CRAIGMOUNT VIEW			
Address 2:	CRAIGMOUNT			
Address 3:				
Address 4:				
Address 5:				
Town/City/Settlement:	EDINBURGH			
Post Code:	EH12 8BS			
Please identify/describe the location of the site or sites				
Northing	673517	Easting	318901	

Description of Proposal
Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: * (Max 500 characters)
Proposed change of use to form short term holiday let.
Type of Application
What type of application did you submit to the planning authority? *
Application for planning permission (including householder application but excluding application to work minerals). Application for planning permission in principle. Further application. Application for approval of matters specified in conditions.
What does your review relate to? *
Refusal Notice. Grant of permission with Conditions imposed. No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.
Statement of reasons for seeking review
You must state in full, why you are a seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)
Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.
You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.
Please see uploaded accompanying statement for details.
Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *
If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to to rely on in support of your review. You can attach these documents electronically later in the			d intend
Accompanying statement and approved building warrant package detailing alterations.			
Application Details			
Please provide the application reference no. given to you by your planning authority for your previous application.	23/01031/FULSTL		
What date was the application submitted to the planning authority? *	09/03/2023		
What date was the decision issued by the planning authority? *	24/05/2023		
Review Procedure			
The Local Review Body will decide on the procedure to be used to determine your review an process require that further information or representations be made to enable them to determ required by one or a combination of procedures, such as: written submissions; the holding of inspecting the land which is the subject of the review case.	nine the review. Further	information r	
Can this review continue to a conclusion, in your opinion, based on a review of the relevant in parties only, without any further procedures? For example, written submission, hearing sess of the parties only. Yes No		yourself and	other
In the event that the Local Review Body appointed to consider your application decides to install	spect the site, in your op	oinion:	
Can the site be clearly seen from a road or public land? *	X	Yes 🗌 No	
Is it possible for the site to be accessed safely and without barriers to entry? *	\boxtimes	Yes 🗌 No)
Checklist – Application for Notice of Review			
Please complete the following checklist to make sure you have provided all the necessary in to submit all this information may result in your appeal being deemed invalid.	formation in support of	your appeal.	Failure
Have you provided the name and address of the applicant?. *	ĭ Yes □ 1	No	
Have you provided the date and reference number of the application which is the subject of treview? *	his 🛛 Yes 🗌 N	No	
If you are the agent, acting on behalf of the applicant, have you provided details of your nam and address and indicated whether any notice or correspondence required in connection with review should be sent to you or the applicant? *		No 🗆 N/A	
Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *	⊠ Yes □ N	No	
Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.			eview
Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *	⊠ Yes □ N	No	
Note: Where the review relates to a further application e.g. renewal of planning permission o planning condition or where it relates to an application for approval of matters specified in co application reference number, approved plans and decision notice (if any) from the earlier co	nditions, it is advisable t		

Declare - Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Steven White

Declaration Date: 22/08/2023

Application No: 23/01031/FULSTL

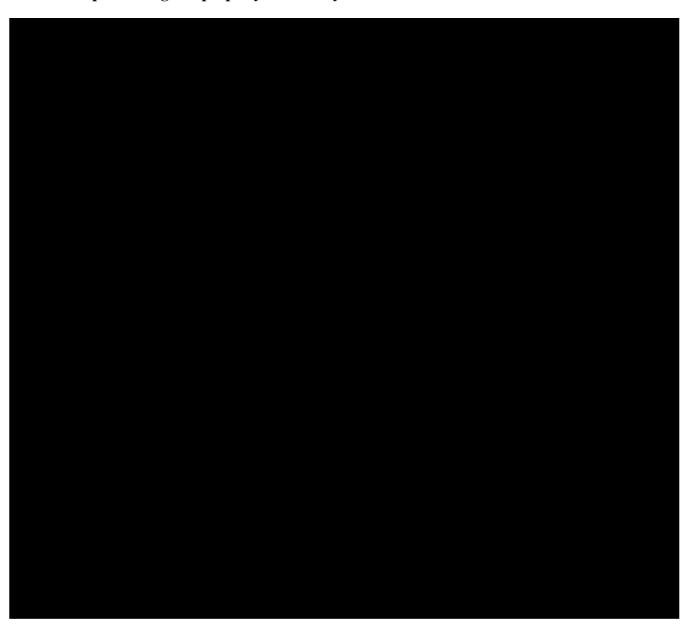
To Whom It May Concern:

My name is Zhiping Xie. My application for changing the use of the property at below address (which the reference number as above):

37 Craigmount view, Edinburhg, EH12 8BS

I didn't have an opportunity to express the circumstance on my original application. Now I am appealing the decision and attach my statement as below:

Reason for purchasing this property for holiday let



The new licences scheme impact on disabled visitors to Edinburg	gh
Advice prior to purchasing the property	

Adaptation made to the property.

I am attaching the building warrant to show what adaptations we have made to the property in

- 1) widen the entrance door for wheelchair access,
- 2) build a ramp for the front door for wheelchair access,
- 3) widen my son's bedroom door for wheelchair access
- 4) removed the storage cupboards to make a bigger size bathroom and wet room for showers with a shower chair.
- 5) removed the solid wall between the kitchen and living room to create bigger space for wheelchair access,
- 6) installed a bigger door for wheelchair access for entering kitchen and living room.
- 7) replaced the kitchen for wheelchair access spaces.
- 8) put a wooden ramp in the backdoor of the kitchen for wheelchair access.
- 9) upgraded and rewired the whole electrical system and the gas system to meet current regulations.

My statement to the reasons of your refusal of the application

Please allow me to give a response to the reason for refusal:

1) The proposal is contrary to Local Development Plan Policy Hou 7 in respect of Inappropriate Uses in Residential Areas, as the use of the dwelling as a short stay let will have a materially detrimental effect on the living conditions and amenity of nearby residents.

I am very experienced in running short-term holiday lets and have done this for over 10 years on Isle of Skye. I would obviously try my best to reduce any impact on residents and local amenities. First, as a short-term holiday let, the property's condition must be maintained in good condition as you are aware. Second, I will install noise level monitor and CCTV for front garden and back garden, so it will notify me if there is any anti-social behaviour happening which is very rare from my experience (I have experienced zero guests who would impact on local residents or next door neighbours, because my self-catering short-term lets are usually for a small family unit or a small group of families/friends which is unlike hotels or guests houses. The vast majority of people on such stays don't want to make any trouble in a strange city in which no one can help them. 3) One of my house rules as Blueprint set out very clear and strictly applies to all guests prohibits the use of the house for any parties or events in the property other than simply as accommodation only. This prevents small groups of friends getting drunk which is when the majority of likely anti-social behaviour happens. Also, I have noise monitor & CCTV surrounding outside the house which should notify me if anything happens. Guests have deposits held by me and they won't want to lose their deposit. Therefore, I have never had any next-door neighbours reporting my guests or having been disturbed by them in the last 10 years on the Isle of Skye.

In terms of the impact on local amenities, I expect this to be entirely negligible because the number of guests accommodating in the house would have been the same as if the property was used as a dwelling for a family of 4 or 5 members. It won't increase traffic compared to a normal family home for this local area. Indeed, it's more likely to reduce the traffic as most

guests travelling to a city choose public transport instead of hiring a car (incurring expensive parking charges when they are in a city like Edinburgh). This also helps the local environment. The road in the entrance has very clear vision to any oncoming traffic from both directions. It doesn't create any risk to local road users. There is no additional burden to the local amenities than any local family with 4 or 5 family members who live there.

2) The proposal is contrary to National Planning Framework Policy 30(e) in respect of Local amenity and loss of Residential Accommodation, as the use of this dwelling as a short term stay let will result in an unacceptable impact on local amenity and the loss of a residential property has not been justified.

I respect your concern that the business use can be carried on by a new owner if I sell the property. Therefore, I am willing to accept attached condition to the change of use for 5 years only.



Kind Regards

Zhiping Xie



ABC Architecture Steven White, 18A Rothesay Place, Edinburgh, EH3 7SQ Date 20 March 2023

Your Ref

Our Ref 23/00417/WARR

Dear Sir(s)/Madam,

APPROVAL OF BUILDING WARRANT Address: 37 Craigmount View, Edinburgh, EH12 8BS

I'm pleased to let you know that the Council granted a building warrant for your project on 20 March 2023. Your client can now start the work shown in the drawings covered by the warrant.

I've enclosed the following documents:

Building Warrant

important guidance notes which your client and the contractor must be aware of construction compliance notification plan (CCNP) detailing what we must see and what can be evidenced with photographs approved Building Warrant drawings.

Your views are important to us, please take a moment to share your experience in the <u>national customer satisfaction survey for building standards</u>.

Please call Site Inspections on 0131 529 3550, whose working pattern is as follows:

Yours faithfully

Site Inspections

Site Inspections



BUILDING WARRANT

Building (Scotland) Act 2003

Warrant under section 9 for work subject to building regulations.

This warrant is granted by The City of Edinburgh Council in connection with the application

by Ms Zhiping Xie

Dated: 14 February 2023

Proposal: Internal alterations to provide enlarged family bathroom, changes to access doors, wall removals, installation of external french doors and raised deck area along with all associated works.

For work at: 37 Craigmount View, Edinburgh, EH12 8BS,

The reference number of this building warrant is - 23/00417/WARR

Conditions

The following condition(s) apply:

That the work will be carried out as described in the building warrant and in accordance with building regulations and that nothing in any drawing, specification or other information submitted with the application indicates that the building when constructed will fail to comply with building regulations.

Continuing requirements

There is no requirements in this case.

Security matters

No details or documents are included in this section in this case.

A copy of the agreed plan(s) is/are returned

0.

Signed

Dated 20 March 2023

DAVID GIVAN

Head of Building Standards

For and on behalf of The City of Edinburgh Council

Notes

- 1. To be considered as a limited-life building expiry must not be more than 5 years from the relevant date, which is the date of notification of acceptance of the completion certificate for the work, or the date of any permission for the temporary occupation or use of the building before acceptance of the completion certificate.
- 2. For construction, the stages specified in the procedure regulations are
 - a) construction of foundations, or
 - b) such other stages as the verifier considers appropriate having regard to any guidance issued by the Scottish Ministers
- 3. For demolition, the stages specified in the procedure regulations are
 - a) isolation and removal of services, fixtures and fittings,
 - b) isolation and protection of adjacent structures, or
 - such other stages, appropriate to the method of demolition, as the verifier considers appropriate having regard to any guidance issued by the Scottish Ministers.
- 4. It should be noted that where the owner is not the applicant, then the verifier will notify the owner of the grant of the building warrant as is required in terms of section 9(7)(b) of the Building (Scotland) Act 2003.

Important notice

- a) This building warrant is valid for 3 years. A Completion Certificate must be submitted when the work is complete. If a completion certificate is not submitted within the 3 year period, an extension of the duration of the warrant must be applied for before the expiry original date. For demolitions, an extension must be applied for if the period for demolition specified on the warrant will not end within the 3 year period.
- b) The verifier must be notified
 - A* of the date on which work is commenced within 7 days of such date, B* when any drain has been laid and is ready for inspection or test (unless this work is covered by a certificate of construction),
 - C* when a drain track has been in-filled and the drainage system is ready for a second inspection or test (unless this work is covered by a certificate of construction),
 - D* of the date of completion of such other stages as the verifier may require, and
 - E* of the intention to use an approved certifier of construction.
 - *How to notify A, D & E above must be in writing. B & C can be by telephone, or by email or in writing.

WARNING

A building warrant does not exempt you from obtaining other types of permission that may be necessary, such as planning permission or listed building consent. Consult the local authority if in doubt.

It is an offence to use or occupy the building(s) before obtaining acceptance of a completion certificate, unless the work is alteration only.



Planning & Building Standards
PLACE

Important guidance notes

This guidance is for the person who has applied for a Building Warrant, his/her agent and any contractors involved in carrying out work in terms of a Building Warrant applied for on or after 1 October 2012.

The person applying for the warrant is responsible for making sure the building works comply with National Building Regulations - The Building (Scotland) Act 2003.

Please tell us as soon as possible when you will start work on your project. Ask your contractor to download a copy of the site start notification form from the Planning and Building section of our website www.edinburgh.gov.uk, complete it and send it in.

Site inspections

The contractor must allow for inspection stages (as noted on the CCNP) in their building programme so the Council can inspect or use other suitable means to 'make reasonable enquiry' that the works comply with building regulations. The person applying for the warrant is responsible for making sure the work complies with regulations and not the Council. The Council will not supervise the work or inspect every part of the build, so you may wish to consider site supervision or regular inspections.

The timing and frequency of these visits will vary depending the type of project, its size and complexity. The contractor must give the building surveyor at least three working days' notice to inspect the site.

Construction Compliance and Notification Plan (CCNP)

This specifies what we must see, such as drains before they are covered over or made hard to see. If elements are covered over before letting us know or we can inspect them, then we can ask for the works to be opened. This may damage floor or ceiling finishings or mean digging up ground again; at the cost of the person applying for the warrant.

It will also confirm if our Surveyor will accept photographs of certain constructional items before they are covered over.

Photographs

We will only accept photographs specified in your CCNP to help us make "reasonable inquiry" that the work complies with building regulation and the approved plans before verifying a completion certificate.

Photographs can be used to show:

compliance with approved drawings or the Building Regulations that a design feature has been fully complied with a construction element of a building the dimensions of an element or material structural details.

Photographs or any accompanying information accepted must clearly:

include the date when taken

indicate what it is about

if about measurement, evidence the measurement, for example including a tape measure as part of the photograph

show the construction, structural elements, or materials used

show the location of the subject of the photograph(s) and from where the photograph(s) was (were) taken.



Construction Compliance & Notification Plan

	PROJECT DETAILS		
Building address: 37 Craigmount View	Building address: 37 Craigmount View		
Edinburgh			
EH12 8BS			
Building Warrant Ref: 23/00417/WARR	Warrant Applicant's Name: Ms Zhiping Xie		
Contact details: buildingstandards.siteinspections@edinburgh.gov.uk - 0131 529 3550			

The Scottish Government require the Council to make "reasonable inquiry" in determining if your work complies with building regulations. It is the applicant's responsibility to ensure that the works comply with national building regulations, the table below, if followed, will assist the Council in meeting the Government's requirement of making "reasonable inquiry".

Notification Point	NOTES FOR APPLICANT
Commencement	Send notice regarding start of work to verifier at least seven days prior to starting on site.
Completion	Submit a completion certificate submission (Form 5) and all required certification, as per list below, via the online <u>ebuildingstandards</u> system or via post.

This document or a copy must be passed to the applicant's contractor if one is appointed.

Documents to be uploaded via the <u>ebuildingstandards</u> portal with the completion certificate submission (Form 5), maybe include but are not limited to:

	Electrical Certificate
	Fire detection certificate
	Boiler commissioning certificate
П	Gas safe information

Notes to Applicant/Developer:

This verification process is not a site supervision process. Should this service be required the applicant should engage with a suitable professional.

Responsibility for compliance with the building regulations lies with the relevant person (usually the owner or developer). Therefore, any checks made by a verifier do not remove any responsibility from the relevant person who is required to certify all the completed work as being in accordance with the approved plans, details and building regulations by submitting a completion certificate (Form 5) to the verifier.

Please note that failure to notify the council at the required time may result in a disruptive inspection being required. This could result in a wall, floor or ceiling finish being damaged. The cost of any inspection will be borne by the relevant person in terms of the Building Scotland Act 2003.

- 1. The owner or developer should notify the verifier at the target key construction stages above, to allow the verifier to check compliance with building regulations. The number and nature of the site inspections may vary according to the type of works being undertaken.
- 2. Notification should allow a minimum of ten working days for the council to respond.
- 3. Once the applicant or developer is satisfied the project is complete and complies with Building Regulations, they must sign and submit the completion certificate (Form 5) to the Verifier. The submission should also include the additional supporting information required by the verifier as outlined in the CCNP.

The use of a From K should only be submitted by email to the email address provided overleaf as any submission made via the ebuildingstandards portal will not notify the verifier.

Any reference in this document to "Verifier" means The City of Edinburgh Council acting as verifier in terms of The Building (Scotland) Act 2003.

Alternative Evidence

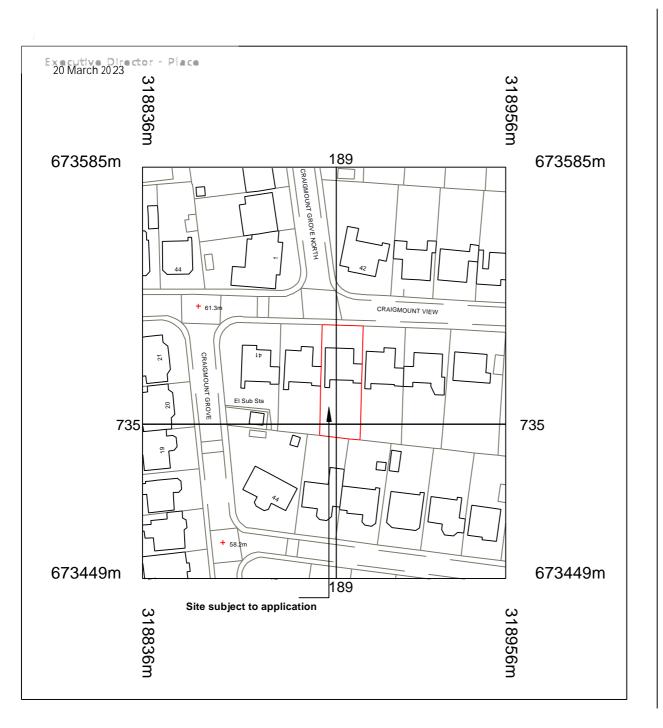
Verification checks throughout construction will normally be via onsite or video inspections although other methods can be used to check for compliance with the building regulations.

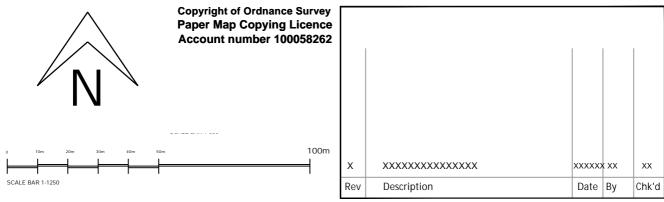
Photographs can be accepted, **with prior agreement**, by building standards staff to aid the process of "reasonable inquiry" in the acceptance of completion certificates.

Photographs or any accompanying information accepted should:-

- Give clear indication as to the date the photograph was taken
- Give clear indication as to the subject matter
- If used to indicate a measurement, give conclusive evidence of the measurement in question. For example this may be by having a tape measure as part of the photograph
- Give clear and unambiguous indication of the construction, structural elements, or materials used
- Contain in the photograph a clear indication of the location of the subject of the photograph(s) and where the photograph(s) was (were) taken from.

It is good practice to keep a photographic record of all works as they progress as they may be required by the verifier, however these should not be emailed to the building standards surveyor or uploaded to the ebuilding Standards Portal unless specifically requested to do so.







Zhiping Xie

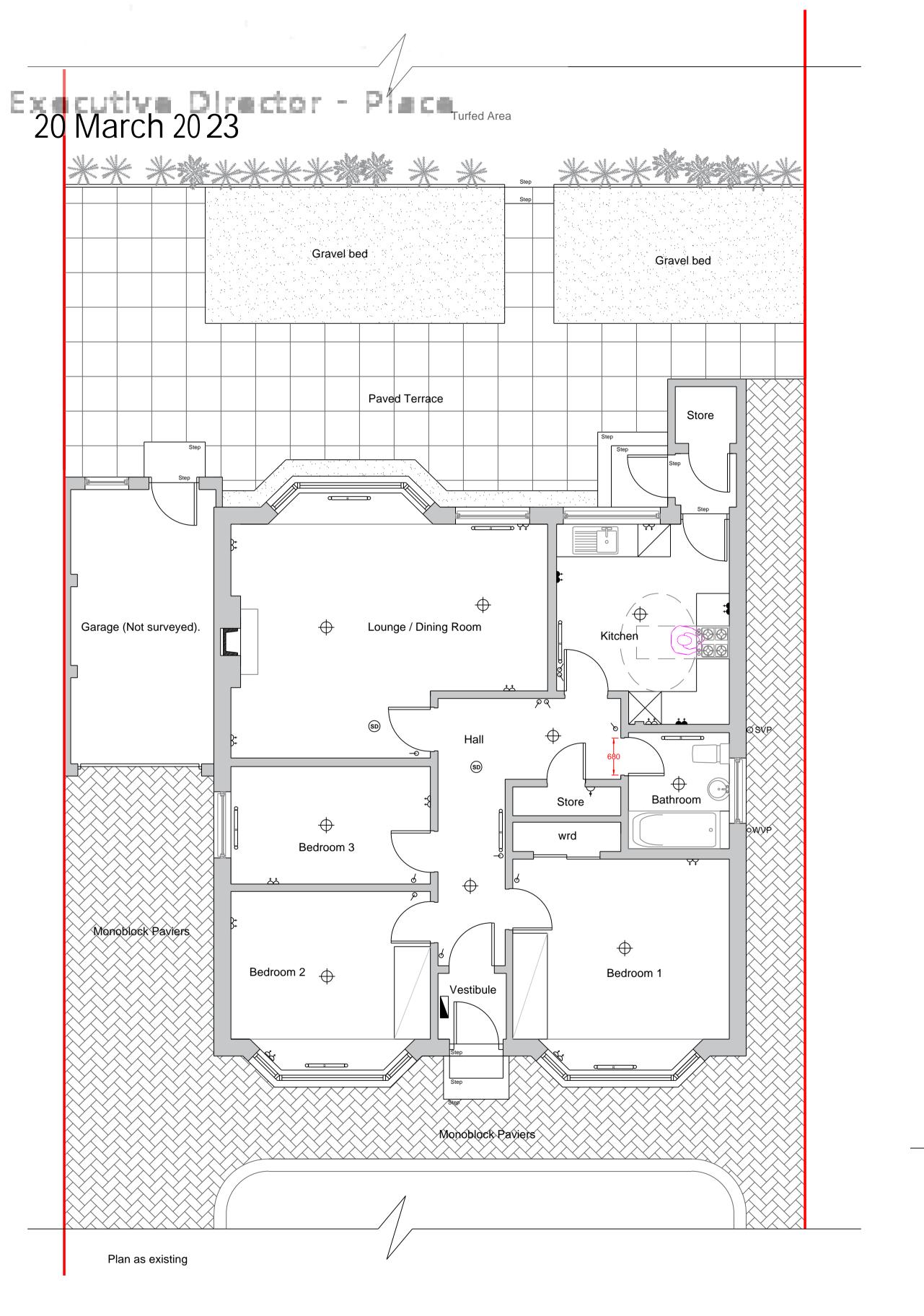
Project ref.
REF No.514 00 Warrant 0131 510 8555 Edinburgh 01368 908 222 Dunbar abcarchitecture.co.uk enquiries@abcarchitecture.co.uk Ch'd by Drawn by 13/02/22 1:1250 A4 sjw

Drawing Title
Location Plan

37 Craigmount View Corstorphine.

Drawing No.

Issue status







South elevation as existing

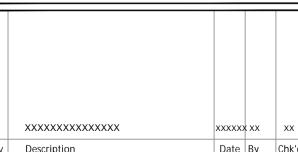
Unforeseen works

It is not always possible to identify all elements of construction of an existing building without carrying out extensive disruptive surveys at an early stage. The client should make allowance within their contingency for any costs associated with unforeseen works uncovered as the works progress.

CDM (Construction - Design and Management) 2015

In order to avoid forseeable risks The Principal Designer has eliminated hazards where reasonably practicable at the design phase. Where forseeable hazards could not be designed out and in order to reduce the risk associated with those that remain, the following hazards have been identified:

1. 2.



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Drawings to be read & fully understood before work commences. **IF IN DOUBT ASK.** Use figured

All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to ABC Ltd

0 0.5m 1m 1.5m 2m 2.5m 5m SCALE BAR 1-50



Nev Description	Date	Бу	
37 Craigmount View Corstorphine	e.		_
Drawing Title As existing			
Zhiping Xie			
			_

Architectural Building & Design Consultants Ltd

18a Rothesay Place, Edinburgh EH3 7SQ

Architectural Building & Design Consultants Ltd

Scale Print Date

O131 510 8555 Edinburgh enquiries@abcarchitecture.co.uk
enquiries@a

20 March 2023



EXTERNAL FRENCH STYLE DOOR SET:

UPVC fully weather sealed, double glazed door sets or approved equal. glazing - 4:14:6.8 argon-filled, low-e with warm edge glazing and 6.8mm Laminated

to BS 6262: Part 4: 2018 or equiv'.

U value 1.40W/m2K

Units to be designed and constructed to be compliant with BS 644: 2012 in accordance with standard 4.13.4

Door must have a single point locking system for keyed BS 3621:2017 for keyed

Door must be hung of 1.5 pair hinges meeting recommendations of BS EN 1935:2002

CONTRACTOR MUST FULLY DISCUSS ALL ASPECTS OF DOORS WITH CLIENT PRIOR TO ORDER

HARD SITE SIZES MUST BE TAKEN PRIOR TO ORDER AND MANUFACTURE!

Natural daylight to be provided to each apartment with a minimum glazed area to windows of 1/15th of the respective room area.

All glass to be laminated 6.8mm safety glass and clearly kitemarked. All glazing to comply with BS 6262-4:2018 and BS EN 12600.

Supply and install vertical and horizontal Damcor insulated DPCs around door/window frame and wall junctions

Full draught stripping to all frames and openings of doors.

Seal any service penetrations and dry lining junctions using expanding foam fillers and mastic sealants to limit air infiltration to property to comply with technical standard

All works must be carried out as to ensure there are no gaps or thermal bridges in accordance with technical standard 6.2.4.

Laminated safety glass and clearly kite marked. All glazing to comply with BS 6262-4:2018 and BS EN 12600.

Doors and windows to be Secure by design Homes 2019 compliant with 4.13.2 or 4.13.3 should be tested and certified by a notified body as meeting a recognised standard for security such as PAS 24:2016 for door sets or PAS 24: 2016 for windows. The door set should include a single-point locking device to BS 3621: 2017 4.13.5 To ensure a robust installation, fixing of a door set should be in accordance with the recommendations given in section 8 of BS 8213-4: 2016.

All windows to be fully reversible and cleanable from within a room in a accordance

Ensure that manual controls of openable windows have for safety reasons to comply with standard 4.8.5 must have controls for opening positioned at least 350mm from internal corners, projecting walls or other similar obstruction and at a height of not more than 1700mm above FFL.

In situations where access to the controls is limited by a fixed obstruction of not more than 900mm high which projects not more than 600mm in front of the position of the controls then the controls should be positioned at no more than 1500mm above FFL.

Full draught stripping to all frames and openings of doors, windows and roof lights. Seal all service penetrations and dry lining junctions between walls, ceilings and doors to limit air infiltration to property to comply with technical standard 6.2.5. All works must be carried out as to ensure there are no gaps or thermal bridges in accordance with technical standard 6.2.4.

Unforeseen works

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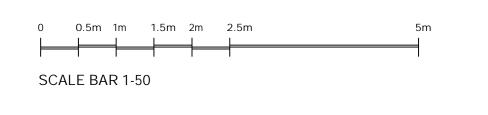
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Rev	Description	Date	Ву	Chk'd

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Drawings to be read & fully understood before work commences. IF IN DOUBT ASK. Use figured dimensions only

All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to ABC Ltd





Architectural Building & Design Consultants Ltd

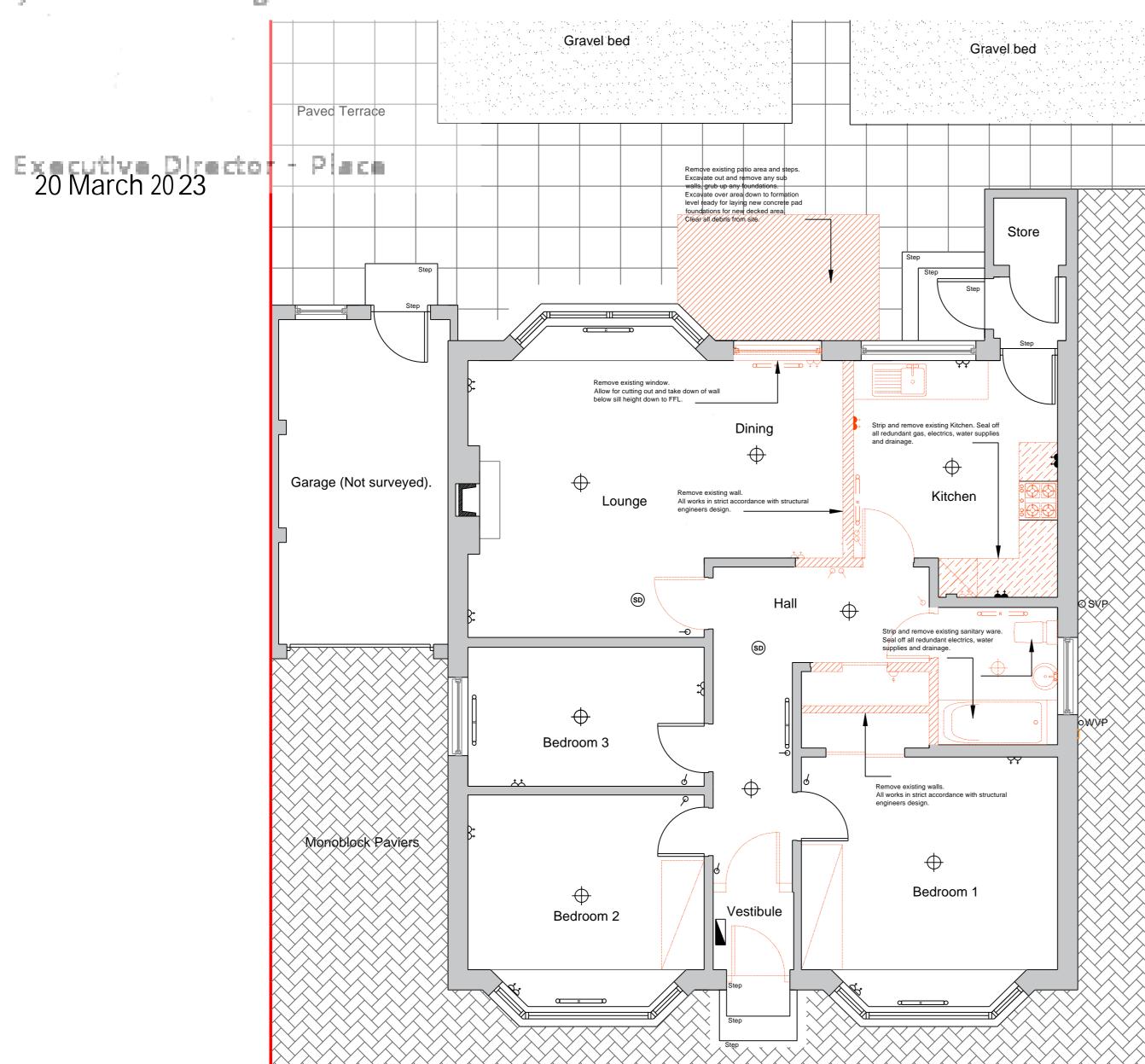
18a Rothesay Place, 0131 510 8555 Edinburgh abcarchitecture.co.uk 01368 908 222 Dunbar

Drawing No Issue status REF No.514 04 Warrant 1:50 А3 05/11/22 sjw XXX

37 Craigmount View Corstorphine.

Elevation as proposed

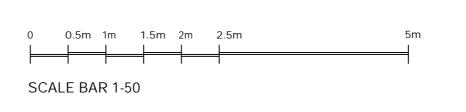
Zhiping Xie



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Building Standards Notes:

- 1.1 Structural engineers drawings and SER to follow.
- 3.12.3 The shower area is a wet floor shower room, there will be no fixed shower tray or screen impeding access or interfering with activity spaces.
- 3.14.4 New patio doors will be fitted with 12000mm² trickle vents to frame heads
- 4.2.6 The clear opening width of the Kitchen and Bathroom doors will be 820mm as a minimum.

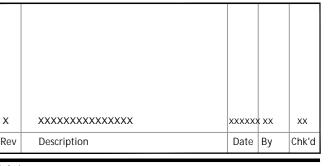
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. 2.





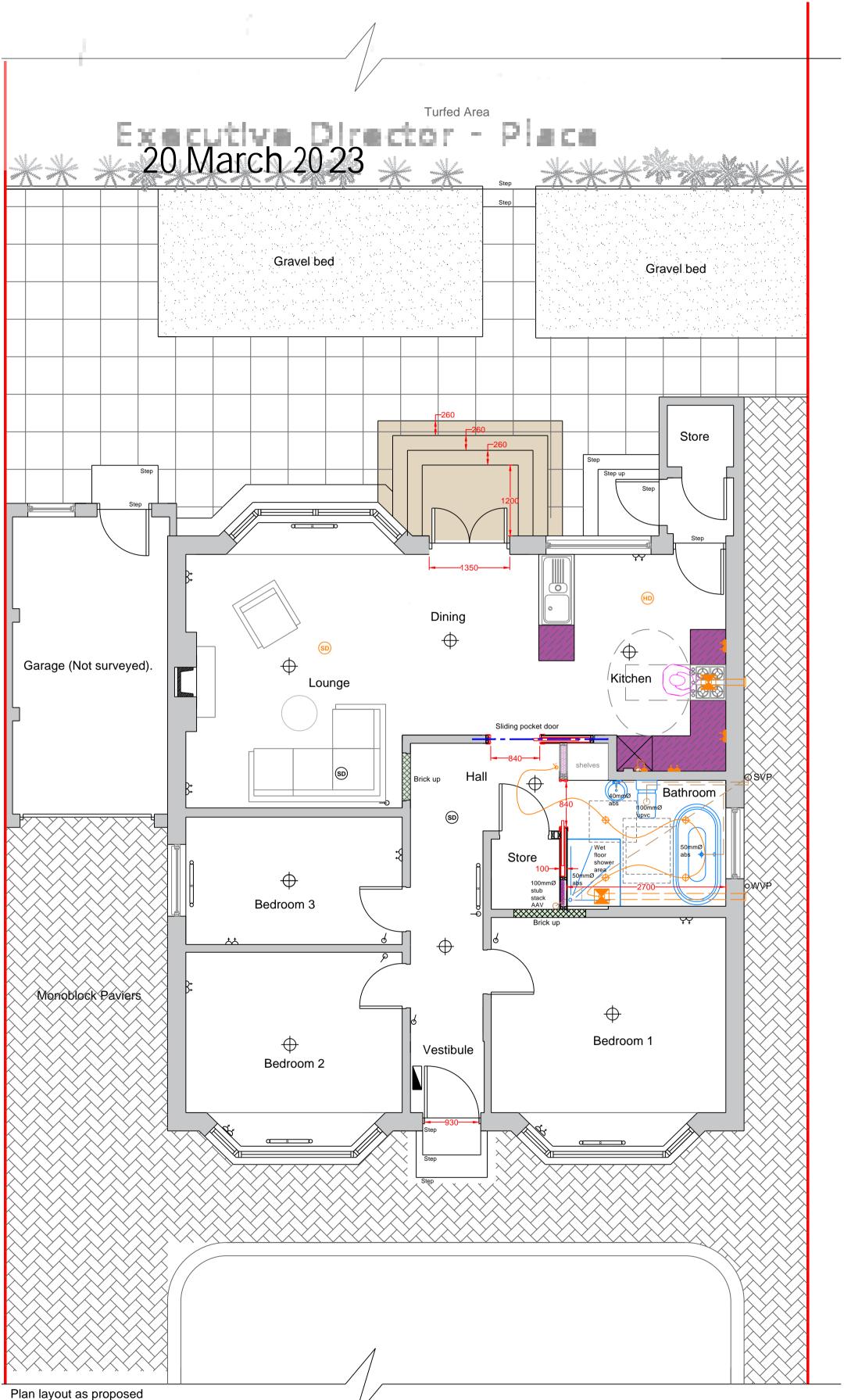
Architectural Building & Design Consultants Ltd

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37 Craigmount View Corstorphine.

Drawing Title
Existing plan showing demolitions

Zhiping Xie



GENERAL NOTES

This drawing has been prepared for use by competent contractors & fully skilled tradesmen.

Works must not be undertaken by unqualified personnel. All work to be carried out in accordance with the Building Standards (Scotland) Regulations 2004 and current 2020 domestic technical handbook, British Standards Specifications and Codes of Practice in a workmanlike manner.

All work to be carried out in accordance with current health and safety rules regulations and legislation including the construction (design and management) regulations 2015. Designer has designed out hazards as required in CDM regulations 2015.

All dimensions/details to be checked on site by contractor prior to commencement of works or ordering materials. Any discrepancies are to be reported to the employer immediately for clarification/verification

All new works, products and process are to be in accordance with the relevant British Standards and manufacturer's guidance and shall be carried out to the highest standards of craftsmanship by skilled and qualified persons of the respective trades and in accordance with good building practice.

The contractor shall be responsible for making contact with the respective statutory authorities and establishing the location of all existing services. The contractor shall ensure compliance with the local authority regulations.

All proprietary products must be used & installed in strict accordance with the manufacturers written instructions. Any scaffolding to comply with BS EN 12811 with all tubes and fittings to comply with BS 1139.

All new timber to be treated with an approved preservative/paint. Any lead work to be carried out in accordance with the lead sheet association rules, regulations and details and to be

treated with patination oil as per instructions. All doors, facings, skirtings, door ironmongery are to be to as per the client's specification.

All kitchen units, worktop, sanitary ware, tiles, paint finishes and floor finishes to be as per the client's specification. All slappings are to adequately needled & propped as per the Structural Engineers specification.

All works to be carried out in accordance with the SBSA guidelines for domestic structures. Every service, fitting or piece of equipment provided so as to serve a purpose of the regulations should be designed, installed and commissioned in such a way as to fulfil those purposes.

Full draught stripping to all frames and openings of doors, windows and roof lights.

All new plumbing to be installed in Copper unless agreed with client.

Contractor to make good all existing finishes affected by the works.

Seal all service penetrations and dry lining junctions between walls, ceilings and doors to limit air infiltration to property

All works must be carried out as to ensure there are no gaps or thermal bridges in accordance with technical standard

Integrity of all walls, floors & ceilings are to be maintained after alterations & removals. No new works are to impair the fire resistance of an existing fire resistant element.

Disturbed fire resistance elements are to be made good in a manner that is in compliance with the required performance for that element.

All works to be carried out in a proper and workmanlike manner and all materials used must be durable and fit for their

All external finishes should be sealed to prevent the penetration of precipitation in accordance with Regulation 8.

SITE SECURITY & MAINTENANCE

All neighbours to be notified prior to the commencement of work on site.

No works will encroach over the boundary line.

When demolition work has been completed, and where no further work is to commence immediately, the person who carried out that work shall ensure that the site is: Immediately graded and cleared or.

Provided with such fences, protective barriers or hoardings as will prevent access thereto.

Every service, fitting or piece of equipment provided so as to serve a purpose of the regulations should be designed. installed and commissioned in such a way as to fulfil those purpose.

Regulations 13:

The site must be fenced off in such a way as to protect the public.

No person shall carry out works unless the following provision of protective works is complied with. The protective works referred to in the preceding paragraphs are all or any of:

- Providing hoardings, barriers or fences;
- Subject to paragraph (5), where necessary to prevent danger, providing footpaths outside such hoardings, barriers or fences with safe and convenient platforms, handrails, steps or ramps, and substantial overhead coverings;
- Any other protective works which in the opinion of the local authority are safety of the public, all of such description, material and dimensions and in such position as the local authority may
- Nothing in paragraph(4)(b) shall require the provision of a platform, handrail, step or ramp: Where no part of the existing footpath is occupied by the protective works or in connection with the work; or
- Where that part of an existing footpath remaining unoccupied affords a safe means of passage for people, and is of a width of not less than 1.2 metres or such greater width as the local authority may direct

Any protective works shall be so erected to cause no danger to the public and shall be maintained to the satisfaction of

Regulation 14:

Regulation 14 required the keeping free from mud or dust footpaths adjacent to building sites Where any work is being carried out on a building site or building, any neighbouring footpath (including any footpath provided so as to form part of the protective works) shall be regularly cleaned and kept free of building debris and related materials by the person carrying out the work, to the satisfaction of the local authority.

Regulation 15 requires that all building sites where there are unfinished or partially complete works are kept safe and

Subject to paragraph (2) a person carrying on work shall ensure that any building which is party constructed or partly demolished or which has been completed but not yet occupied is, so far as reasonable practical, properly secured or closed against unauthorized entry at all times when work theron is not in progress.

PLUMBING & DRAINAGE

All drainage connections to comply with the building standards (scotland) regulations and amendments part 3.7 and to be to the entire satisfaction of the local authority drainage inspector. All new drainage to be connected into the existing combined drainage system.

Any redundant drains should be disconnected from the system as near as possible to the point of connection in a manner that does not damage the pipe and ensures a watertight system. Remove redundant pipes as far as reasonable practical, cap off other pipes at both ends and at any point of connection

New drainage connections to be vented to outside atmosphere or via Accessible AAVs. All AAVs must be fitted instrict accordance with manufacturers instructions and in accessible locations. Any AAVs to be accessible & vented, & to be installed above the highest relevant appliance flood level. Installed in accordance with the recommendations in BS EN 12380:2002 or in compliance with the conditions of certification of a notified body. Air admittance valve to be accessible for cleaning and inspection purposes. Allow for supply and fitting of accessible louvre vent providing ventilation and access.

Existing kitchen sink waste to be retained for New sink waste and dishwasher waste. All new foul drainage pipe work to be installed and constructed to comply with BS EN 12056-2: 2000 single discharge Drainage lines/branches to be fully supported as per manufacturer's instructions using proprietary support brackets.

All new drainage to be UPVC by Marley or equal and approved. Foul drainage runs to be max gradient of 1:60.

To new W.C allow for 100mm upvc pipework and connections To new whb allow for 38mm abs pipework and connections and must be fitted with deepseal or anti-syphon trap To new shower allow for 50mm abs pipework and connections and must be fitted with a Mcalpine top access trap. Access hand holes to be provided at all changes of direction.

To new bath allow for 50mm abs pipework and connections along with deepseal trap. Access hand holes to be provided at all changes of direction.

Contractor to check distances, falls and connections prior to starting on site to ensure suitability and compliance - Any

All fittings to have deep deal traps and shower traps to be fully accessible. Traps to be 75mm deep seal traps and to be accessible for cleaning and inspection purposes

Wastes and overflows to comply with BS EN 12056-2:2000, ABS wastes and UPVC overflow systems in compliance with No joists are to be notched without the engineers consent.

To new shower supply and install thermostatic mixing valves or other fitting complying to BS EN 1111 : 2017 or BS EN 1287 : 2017 fitted as close to the point of delivery as practically possible Water efficient fittings should be provided to all WCs and WHBs within a dwelling

Dual flush WC cisterns should have an average flush volume of not more than 4.5 litres. Single flush WC cisterns should have a flush volume of not more than 4.5

Taps serving wash or hand rinse basins should have a flow rate of not more than 6

litres per minute. to comply with standard 3.27.2

ELECTRICAL WORKS

All electrical works to comply with the latest IEE regulations and Section 4.5 of the Building Standards and to be designed, constructed, installed and tested such that it is in accordance with the recommendations of BS 7671: 2018 + Amd 1: 2020.

Installations to be carried out by SELECT or NIC EIC registered contractor, provide certificate on completion.

Contractor to isolate power and check existing fuse board is suitable for expansion. Allow for the installation of all new electrical wiring and MK manufacture equipment.

All final electrical and lighting layouts are to be confirmed with the client prior to installation.

The junctions of all boxings for services and the building fabric to be sealed to prevent the infiltration of air into the building. Apartments to have minimum 4 No. socket outlets.

A minimum of 100% of the fixed light fittings and lamps installed in the dwelling should be low energy type.

dedicated fittings which will have a separate control gear and will only take fluorescent lamps (pin based lamps); or fittings including lamps with integrated control gear (bayonet or Edison screw base lamps). Allow for the installation of all new electrical wiring and manufacture equipment.

Outlets and controls of electrical fixtures and systems to be positioned at least 350 mm from any internal corner, projecting wall or similar obstruction and not more than 1.2 m above floor level. This includes fixtures such as sockets, switches, fire alarm call points and timer

Within this height range:

Light switches should be positioned at a height of between 900mm and 1100m above floor level. Standard switched or unswitched socket outlets and outlets for other services such as telephone or television should be positioned at

least 400mm above floor level. Above an obstruction, such as a worktop, fixtures should be at least 150 mm above the projecting

Where socket outlets are concealed, such as to the rear of white goods in a kitchen, separate switching should be provided in an accessible position, to allow appliances to be isolated

All fire rated Aurora AU-MPR01 mPro downlights to be fitted in conjunction with BS 476:23 fire protection and manufactures instructions including fire requirements. The insulated envelope is to remain continuous and under no circumstances is it to be punctured to allow down lighter installation. Recessed downlights to have sound rated with minimum 60 minute fire rating and should comply with the relevant IP rating guidance.

Any zone 1 electrical fittings above a bath/shower to a height of 2.25m to having minimum IP rating of IP65. Any zone 2 electrical fittings within an area stretching 0.6m outside the perimeter of a bath/shower and to a height of 2.25m to have

Carbon monoxide detectors

Carbon monoxide detectors should comply with BS EN 50291-1:2010 and be powered by a battery designed to operate for the working life of the detector. The detector should incorporate a warning device to alert the users when its working life is due to expire. Hard wired mains operated carbon monoxide detectors complying with BS EN 50291-1:2010 (Type A) with fixed wiring (not plug in types)may be used as an alternative, provided they are fitted with a sensor failure warning device. Carbon monoxide detectors must be sited in accordance with BS EN 50292:2002.

Unit to be sited between 1m & 3m from the appliance & be either ceiling mounted & positioned at least 300mm from any wall or wall mounted and positioned at least 150mm below the ceiling and higher than any door or window in the room

FIRE SAFETY

Heat detector to be provided to kitchen conforming to BS EN 5446-2:2003.

Install self contained smoke detection system to BS 5446: part 1: 2000 for heat detection and type LD3 system for vulnerable areas to BS 5839: Pt 6: Grade D inter linked circuitry

Detectors are to be connected to a mains circuit independent from any other equipment other than lighting and are to be fitted 300mm from any wall or light fitting. System to have battery backup. New smoke detectors to be hard wired and interlinked.

RAISED DECKING & STEPS

Remove existing slabs, scrape back topsoil and adjust ground levels as required to suit finished ground levels externally across

Excavate over the area of proposed balcony and remove all topsoil and vegetable bearing matter. Treat with weed-killer to prevent re-growth

Remove all waste material from site. Excavate for new pad foundations.

All foundations to be cast on firm undisturbed subsoil beneath the surface and any soft spots, made ground, loose sand, soft clays, peats, silts, wet ground or if other varying ground conditions are encountered at foundation formation level the Engineer

Foundations are to be constructed in strict accordance with structural engineers specifications. See structural drawings for details.

Structural Timber

All structural timber work to be in accordance with BS 5268: Part 2: 2002 and BS 5268: Part 3: 2006.

All structural timber to be new, sound timber free from active or previous by insects or fungi and to be pressure impregnated with a suitable preservative.

Deck make-up

Deck make-up

125x27 c16mm sw treated anti-slip decking boards from international timber or approved equal screwed over 145 x 45 C16 (to Generally make good all round on completion structural eng. specs) timber joists @ 450cts on joist hangers on bearers bolt fixed to outer wall of house and to bear onto new

Stair Construction:

General notes:

All stair construction to comply with Section 4.3 of The Scottish Building Standards 2020

All protective barriers must be in accordance with BS EN 1991-1-1 and associated PD 6688-1-1.

Protective barriers must not permit the passage of a 100mm diameter sphere.100x100 square edge newel posts, 32x32 softwood square edge spindles at 130mm centres with a timber 150x45 C16 top handrail at Min 1100mm above the height of deck

Stair construction to be comprise 200x45mm thick treads with a non-slip finish and 50x50mm sw timber downstand to limit

opening of riser to below 100mm supported on 250 x 50mm stringers. Stair width to be 900mm between stringers with handrails fixed to both sides.

Handrail to be positioned at a height of 900mm above the pitch line.

Stair compliant with standard table 4.4 of 4.3.2 The aggregate must be between 550-700=558 No. of risers - 4

- 260mm

rise - 149mm

ENSURE SITE SIZES ARE TAKEN BEFORE MANUFACTURE OF STAIR!

All work to be carried out in accordance with the Building Standards (Scotland) Regulations 2004 and latest amendments

(2020). British Standards Specifications and Codes of Practice in a workmanlike manner All work to be carried out in accordance with current health and safety rules regulations and legislation including the

construction (design and management) regulations 2015 All dimensions / details to be checked on site prior to commencement, any discrepancies are to be reported to supervising

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officer for clarification / verification. Do not rely on scaled dimensions. All new timber to be treated with an approved preservative/paint.

STRUCTURAL WORKS

All structural steelwork to be as per the Structural Engineers specification.

All structural work to be as per the drawings / specifications produced by the Structural Engineer and to be read fully & in conjunction with all architectural drawings.

All lintels to be as per structural engineer's details and specification

Any lintels damaged in transit or on site should not be used. All lintels should be installed with a minimum end bearing as specified by structural engineer, be fully bedded on bricklaying mortar and levelled both horizontally and vertically.

All lintels to be used to be in accordance with BS EN 845-2: 2013. All lintels to have 'top' clearly marked.

Any steelwork to be lined / boxed in with 19mm thk gyproc plank overlaid with 12.5mm Gyproc wall board or equal to provide medium fire duration (60 mins.) All certification paperwork must be submitted to building standards on application for completion.

POCKET DOOR

Supply and install 838x1981mm and 762x2040 pocket door system by Eclisse or equal as indicated on the drawings. Install partition surround, frame and mechanism in strict accordance with manufacturers installation instructions.

INTERNAL PARTITION

95x45 studs at 600 centers

Built off 95x45 sole plates with top rail and mid height dwangs. 12.5mm gyproc wallboard plasterboard with skim coat plaster finish.

12.5mm moisture resistant plasterboard with skim coat plaster finish (for en-suite, bathrooms and w.c's).

All internal walls between apartments should achieve the sound performance level below. Partition plasterboard to have min 10kg/m2

The design performance level for internal walls and intermediate floors covered by this standard should achieve a minimum airborne sound nsulation level of 43 Rw.

Supply and install 75mm thk Knauf mineral wool 10-60kg/m³ density.

All wall junctions to be sealed with tape or caulk. Install s.w. facings & skirtings etc. throughout as per clients spec.

Activity & manoeuvring spaces to be provided in Kitchen: 1000mm width clear in front of Oven.

1400x1800mm clear ellipse within Kitchen area.

New Kitchen units & appliances to be installed as per clients specification.

Wall tiling/splashback to be provided to walls within kitchen as per clients specification Contractor to supply, take delivery and install kitchen as per manufacturers specifications and installation instructions.

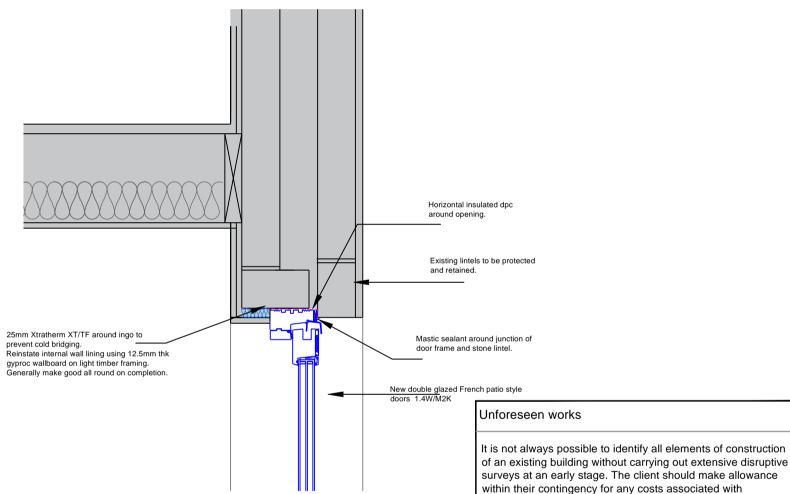
Kitchen style base units, doors, handles and work top to clients choice. All to be installed in strict accordance with manufacturers installation instructions and be thoroughly tested upon completion.

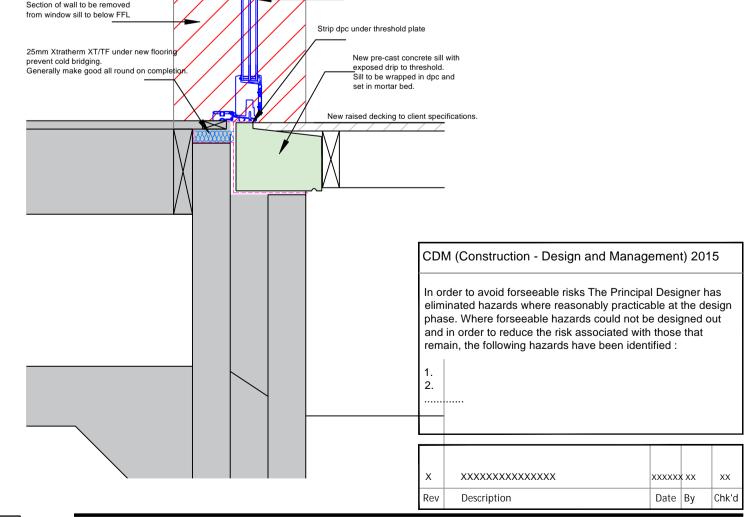
Mechanical Ventilation

Mechanical Extract Ventilation via newly cored hole in external wall. Install louvre vent externally in colour to match wall.

Fan to provide the following minimum extract rates:

Bathroom 32 l/s or 64l/s if not located above cooker Kitchen





New double glazed upvc french patio

doors 1.4W/M2K

Architectural Building & Design Consultants Ltd 18a Rothesay Place, 0131 510 8555 Edinburgh abcarchitecture.co.uk enquiries@abcarchitecture.co.uk

37 Craigmount View Corstorphine. Plan as proposed Zhiping Xie REF No.514 03A Warrant

sjw

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unforeseen works uncovered as the works progress.

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Drawings to be read & fully understood before work commences. IF IN DOUBT ASK. Use figured

All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to ABC Ltd



SER CERTIFICATION DOCUMENTS

Project name :	37 Craigmount View, Edinburgh	Approved Body ref :	SER1-DB-0308
Project reference:	30105	Certifier ref :	SER1-D-00115
Verifier :	Edinburgh		

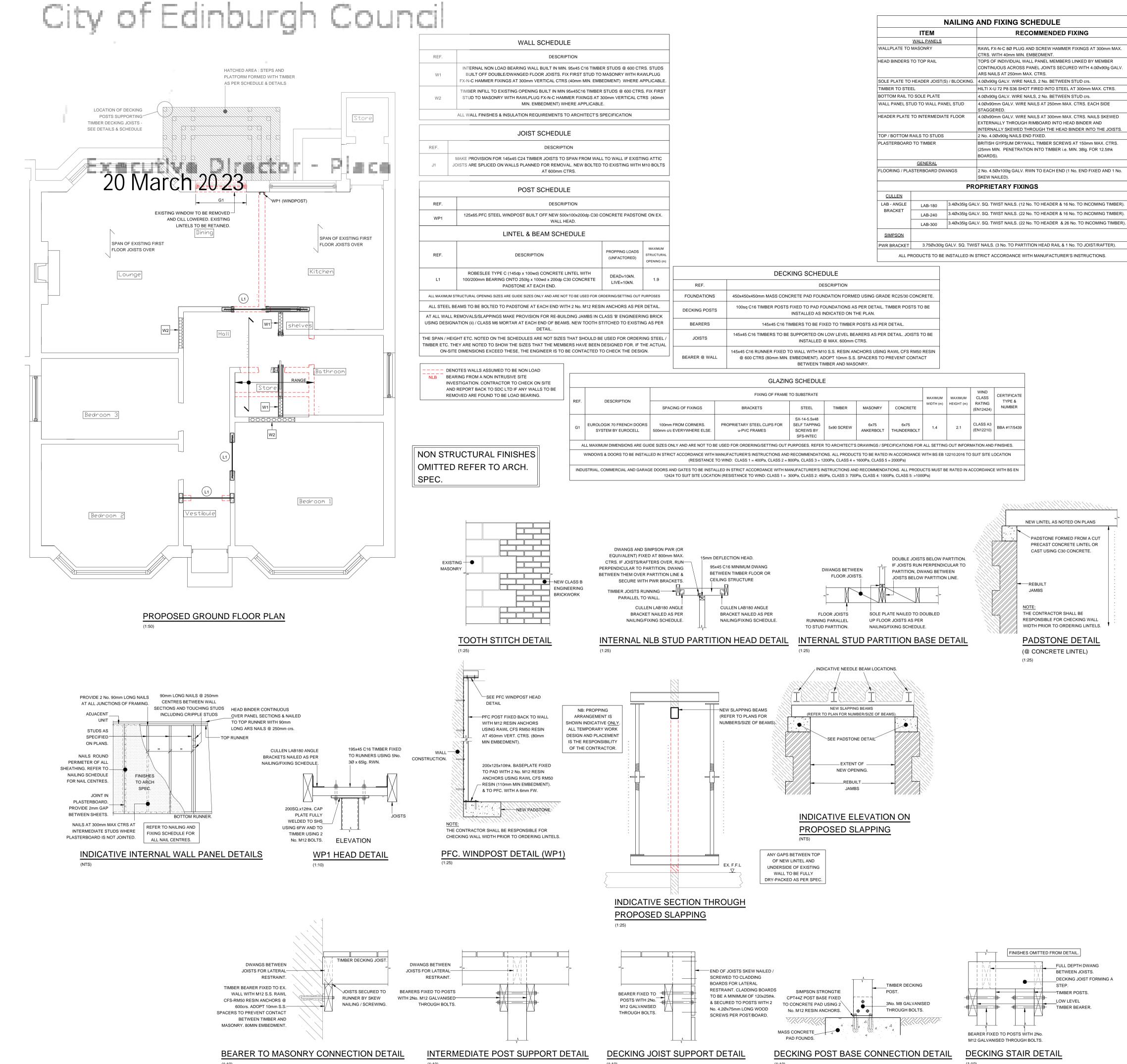
SUMMARY OF DOCUMENTS ATTACHED		
Structural Drawings :	30105 - 01	
Architectural Drawings Submitted for Building Warrant:	514-01 As existing, 514-02A Demolitions, 514-03A Plan as proposed, 514-04 Elevation as proposed	
Other Documents:		

ATTACHED ITEMS REQUIRED FOR CERTIFICATION				
Design Calculations:	YES			
Specifications :	NO			
Site Investigation :	NO			
Building Survey :	YES			

	COMMENTS
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City	of Edinburgh Council

Executive Director - Place 20 March 20 23



AND DRAWINGS.

GENERAL NOTES

THE SER CERTIFICATE(S) AND WARRANT PLAN(S) HAVE BEEN ISSUED IN SUPPORT OF AN APPLICATION FOR BUILDING WARRANT UNDER THE BUILDING (SCOTLAND) ACT 2003 ONLY AND MUST NOT BE RELIED UPON FOR ANY OTHER PURPOSE INCLUDING UNDER ANY CONTRACT TO WHICH THE CERTIFIER IS NOT A PARTY

THE CERTIFICATE AND PLANS RELATE SOLELY TO THE DESIGN OF THE BUILDING AND DOES NOT CERTIFY ANY ASPECTS OF CONSTRUCTION

THIS SPECIFICATION SHALL APPLY TO ALL ENGINEER'S DETAILS

ALL STANDARDS NOTED SHOULD BE READ IN CONJUNCTION WITH THE LATEST AMENDMENT AND NATIONAL ANNEX.

ENGINEER'S DETAILS AND DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS AND DETAILS AND ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS. ALL DIMENSIONS & NOTED SIZES ARE IN MILLIMETRES U.N.O.

ANY DISCREPANCIES NOTED BETWEEN ARCHITECT'S AND

DIMENSIONS SHALL BE BROUGHT TO THE NOTICE OF THE

ENGINEER'S DETAILS REGARDING ANY MATERIALS. FORM OR

ARCHITECT AND ENGINEER. ALL BUILDING AND SETTING-OUT DIMENSIONS TO BE TAKEN FROM THE ARCHITECT'S DRAWINGS

ALL FINISHES TO BE AS SPECIFIED AND DETAILED BY THE

10. SUB-FLOOR INSULATION, DPM AND TANKING TO BE AS SPECIFIED AND DETAILED BY THE ARCHITECT.

CRACKING AND MOVEMENT TO AREAS ABOVE WALL REMOVALS CAN OCCUR DURING THE INSTALLATION OF THE NEW PERMANENT SUPPORT STRUCTURE / TEMPORARY WORKS. SDC Itd IS NOT RESPONSIBLE FOR THE CRACKING AND MOVEMENT THAT CAN OCCUR AS A RESULT OF THE CONSTRUCTION SEQUENCE HOWEVER WE WOULD HIGHLIGHT THAT CRACKING AND MOVEMENT CAN CONTINUE FOR AROUND SIX MONTHS

AFTER THE ALTERATION HAS BEEN MADE IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR UNDERTAKES NECESSARY DILAPIDATION SURVEYS TO ADJOINING PROPERTIES. ANY AREAS ABOVE AND BELOW ALONG WITH COMMON AREAS LIKE STAIRWELLS PRIOR TO STARTING WORK. CRACKING CAN OCCUR TO THE NEIGHBOURING PROPERTIES AND ADJOINING AREAS AS A RESULT OF THE CONSTRUCTION PRACTICES INVOLVED WITH ALTERATIONS OF THIS NATURE AND WE WOULD RECOMMEND THE CONTRACTOR AND CLIENTS HAVE RELEVANT INSURANCE IN PLACE TO COVER THE REPAIR COSTS OF SUCH DAMAGE. LIKEWISE WHERE TOOLS AND MACHINERY THAT CAUSE VIBRATION ARE TO BE USED OR WHERE BEAMS ARE TO BE INSTALLED INTO PARTY WALLS, A DILAPIDATION SURVEY TO THE NEIGHBOURING PROPERTY / ANY ADJOINING AREAS IS

ALSO RECOMMENDED. 13. UNDER THE CONSTRUCTION (DESIGN & MANAGEMENT) REGULATIONS 2015, SDC Ltd ARE NOT ACTING AS THE PRINCIPLE DESIGNER, BUT HAVE DUTIES AS A DESIGNER. THE DESIGN PROPOSED DOES NOT HAVE ANY SPECIFIC RISKS THAT A COMPETENT CONTRACTOR WOULD NOT HAVE ALREADY COGNISANCE OF. IF THE CONTRACTOR REQUIRES ANY SPECIFIC GUIDANCE THEN THEY SHOULD CONTACT SDC Ltd PRIOR TO UNDERTAKING THE ELEMENT OF WORK.

14. TIMBER DETAIL AND WORKMANSHIP TO COMPLY WITH BS EN

15. ALL STRUCTURAL TIMBER TO BE NO WEAKER THAN C16. 16. ALL TIMBER MUST BE 'DRY' AND NOT EXCEEDING 18% MOISTURE CONTENT. PROTECT TIMBER FROM EXCESSIVE WETTING, TIMBER WETTED BY RAIN SHOULD BE ALLOWED TO

PLASTERBOARD 17. PROVIDE ADDITIONAL STUDS AND DWANGS etc. FOR THE SUPPORT OF APPLIANCES, FIXTURES, EDGES OF SHEETS etc.

RE-DRY BEFORE BEING ENCLOSED BY A VAPOUR CHECKS AND

18. ALL FIXINGS WITHIN EXTERNAL WALL CONSTRUCTION AND FIXINGS TO SOLE PLATES & WALL PLATES TO BE GALVANISED SHERARDISED OR AUSTENITIC STAINLESS STEEL

PRESSURE IMPREGNATED WITH APPROVED PRESERVATIVE TO BS EN 1995-1:2004+A2:2014 TO THE FOLLOWING COMPONENTS: (i) SOLE PLATES AND WALL PLATES (ii) TIMBER IN FLAT ROOFS

19. PRESERVATIVE TREATMENT TO BE APPLIED BY BEING

(iii) TIMBER FORMING PART OF OR IN CONTACT WITH THE OUTER LEAF OF AN EXTERNAL WALL.

(iv) TIMBER CAVITY BARRIER (v) TIMBER SUSPENDED GROUND FLOOR

WITH ADDITIONAL PRESERVATIVE.

(vi) TILING BATTENS (vii) LOAD BEARING TIMBER FRAMING THAT FORMS A SEPARATE INNER LEAF OF AN EXTERNAL CAVITY WALL. TIMBER CUT AFTER TREATMENT SHOULD BE SWABBED

20 PROVIDE SOLID OR HERRINGBONE STRUTTING TO TIMBER FLOORS AT THE SUPPORTS (UNLESS BUILT INTO WALLS) & IN JOIST SPAN (m) INTERMEDIATE ROWS OF STRUTTING

UP TO 2.5m 2.5 - 4.5m OVER 4.5m

21. STRUTTING TO BE MIN 38mm thk. AND AT LEAST $\frac{3}{4}$ JOIST DEPTH. HERRINGBONE STRUTTING TO BE AT LEAST 38mm x 38mm. 22. BOLTS FOR TIMBER CONNECTIONS SHALL USE OVER SIZED WASHERS BELOW THE HEAD AND NUT. THE WASHER IS TO BE SQUARE OR ROUND WITH A DIAMETER OR LENGTH OF SIDE A

MINIMUM OF 38mm AND A THICKNESS OF 3mm. 23. ALL PARTITIONS AND ELEVATION WALL PANELS WHICH ARE SPECIFIED WITH A PLYWOOD OR OSB SHEET ARE DEEMED TO BE RACKING PANELS WHICH CONTRIBUTE TO BUILDING STABILITY UNLESS SPECIFICALLY NOTED OTHERWISE ON PLAN.

SLAPPING NOTES

24. ALL SLAPPINGS, OPENINGS AND THE LIKE TO BE CARRIED OUT BY OPERATIVES EXPERIENCED IN THIS TYPE OF WORK.

25. NEW LINTELS, BEAMS AND WALLS TO BE PINNED UP TO EXISTING WALLS ETC. BY THE USE OF STEEL WEDGES AND DRY PACKED WITH MORTAR AS SPECIFIED. THIS IS TO BE DONE SO THAT NEW LINTELS TAKE UP DEFLECTED FORM AND DO NOT DEFLECT ON THE RELEASE OF THE NEEDLES/STRONG BOY

26. CONTRACTOR TO PROVIDE ALL NECESSARY PROPPING, STAYING ETC... TO MAINTAIN THE STABILITY OF THE BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THE RESPONSIBILITY FOR THE ADEQUACY OF THE TEMPORARY PROPPING WORKS AND FOR THE INTEGRITY OF THE BUILDING-UP AFTER ERECTION OF THE BEAM(S) RESTS WITH THE CONTRACTOR. ANY VISITS TO THE SITE BY THE ENGINEER DURING CONSTRUCTION WILL NOT CONSTITUTE 'SUPERVISION' AND WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES

27. CONTRACTOR TO EXPOSE HEAD OF ALL WALLS PRIOR TO ANY DOWNTAKINGS COMMENCING TO CONFIRM THAT ALL STRUCTURE THAT BEARS ONTO EXISTING WALLHEADS ARE ADEQUATELY PROPPED. CONTRACTOR TO FAMILIARISE THEMSELVES WITH SPECIFICATION & PROCEDURE NOTES AS WRITTEN BY SDC Ltd. IF CONTRACTOR IS UNSURE OF ANYTHING OR HAS ANY QUERIES, SDC Ltd SHOULD BE CONTACTED FOR ADVICE OR FURTHER DISCUSSIONS. 28. DRY-PACK MORTAR JOINT SPEC.

THE MIX SHALL BE TWO PARTS PORTLAND CEMENT, TWO PARTS CLEAN WASHED SAND & ONE PART FINE AGGREGATE, IN THE 10-5mm RANGE.

THE MINIMUM AMOUNT OF WATER SHALL BE ADDED TO ACHIEVE A MIX WHICH ADHERE'S TOGETHER, BUT IS NOT IN ANY WAY PLASTIC.

THE JOINT SHOULD BE 25mm MIN WIDE, THE AVERAGE THICKNESS BEING

THE MORTAR SHALL BE PLACED IN SUCH A WAY AS TO FILL THE REAR OF THE JOINT FIRST, BEING PROGRESSIVELY TAMPED OUTWARDS UNTIL A COMPLETELY FILLED JOINT IS OBTAINED AT THE FRONT FACE BEING FREE FROM VOIDS

THE WORKMANSHIP SHALL AT ALL TIMES BE OF A HIGH STANDARD GREAT CARE BEING TAKEN TO ENSURE THAT THE JOINT IS COMPLETELY FILLED WITHOUT VOIDS WITH A MORTAR WHICH WILL ACHIEVE HIGH STRENGTH AT AN EARLY AGE. THIS WILL PERMIT THE TRANSFERENCE OF LOAD WITHOUT SIGNIFICANT DEFLECTION THROUGH THE JOINT. 29. CONTRACTOR TO ENSURE THAT THE TEMPORARY WORKS ARE

NOT COMPROMISED BY THE PLACEMENT OF THE PERMANENT

30. CONTRACTOR TO CHECK SITE DIMENSIONS (INCLUDING WALL THICKNESS OF ALL PROPOSED SLAPPINGS) PRIOR TO ORDERING LINTELS / STEEL FABRICATION. REPORT TO SDC Ltd IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.

31. CONTRACTOR TO MAKE THEMSELVES AWARE OF STRUCTURAL MEMBER SIZES AND WEIGHTS. REFER TO LIFTING AND HANDLING PRACTICES AS OUTLINED IN THE LATEST HSE GUIDELINES FOR FURTHER SAFETY INFORMATION. Registration Number SER1-D-00115

DO NOT SCALE FROM DRAWING. IF IN DOUBT ASK.

FOUNDATION NOTES 32. NEW FOUNDATIONS TO BE CAST ON NATURAL UNDISTURBED GROUND, U.N.O. ON THE DRAWINGS, WITH A MINIMUM SAFE BEARING CAPACITY OF 100kN/m² ONTO A DENSE SANDY GRAVEL BECOMING SANDY CLAY. SOFT SPOTS TO BE REMOVED AND

REPLACED WITH GEN 1 MASS CONCRETE. 33. LEVEL TO TOP OF ALL NEW FOUNDATIONS TO BE AT LEAST

450mm BELOW FINISHED EXTERNAL GROUND LEVEL AND MAY REQUIRE TO BE DEEPER TO SUIT EXISTING SITE TOPOGRAPHY, GROUND CONDITIONS OR BURIED SERVICES / MANHOLES. 34. ADJACENT TO PIPES / MANHOLES, FORMATION LEVEL OF NEW

FOUNDATIONS SHOULD BE BELOW INVERT TO AVOID LOAD 35. ADJACENT TO EXISTING STRUCTURES THE FORMATION LEVEL TO MATCH EXISTING WHERE THE EXISTING IS ON A COMPETENT

STRATA WITH SUFFICIENT FROST COVER. 36. EXCAVATIONS TO BE KEPT CLEAR OF WATER AT ALL TIMES.

37. INSITU REINFORCED CONCRETE WORKMANSHIP AND DETAILS TO COMPLY WITH BS EN 1992-1-1:2004. 38. REINFORCEMENT TO COMPLY WITH BS 4449:2005 WITH A

MINIMUM YIELD STRESS (fy) OF 500N/mm². 39. MINIMUM LAP LENGTHS TO ALL REINFORCEMENT (INCLUDING MESH) TO BE MIN 40 x BAR DIAMETER LINLESS NOTED

40. CONCRETE FOR FOUNDATIONS AND SLABS TO BE A DESIGNATED MIX RC25/30 TO BS EN 206:2013 & BS 8500-1:2015

41. ALL CONCRETE TO BE MECHANICALLY COMPACTED WHILST

FRESH. SURFACE TAMPING ONLY IS SUITABLE FOR SECTIONS LESS THAN 150mm THICK.

CURING OF CONCRETE TO COMPLY WITH CL6.2.3. OF BS 8110-1 AND IN ACCORDANCE WITH BS EN 1992-1-1:2004. 43. REINFORCEMENT TO BE ADEQUATELY SECURED IN POSITION

WITH PROPRIETARY SPACERS, STOOLS ETC. 44. WHERE BUILDING AGAINST TO, OR NEXT TO AN ADJOINING OR EXISTING BUILDING, CONTRACTOR TO CARRY OUT TRIAL PITS AT THE BEGINNING OF THE PROJECT TO IDENTIFY EXISTING FOUNDATION LEVEL. CARE TO BE TAKEN TO ENSURE NO EXISTING FOUNDATION IS UNDERMINED AT ANY TIME DURING CONSTRUCTION, FOUNDATIONS MAY NEED TO BE CAST IN STAGES TO AVOID OVER EXCAVATING NEXT TO EXISTING STRUCTURE AND UNDERPINNING MAY ALSO BE REQUIRED. CONTRACTOR TO CONTACT ENGINEER WITH ANY CONCERNS PRIOR TO CARRY OUT FOUNDATION WORKS.

45. MASONRY DETAILS AND WORKMANSHIP TO COMPLY WITH BS

EN 1996-1:2005 AND BS EN 1996-2:2006. 46. MASONRY WALL TIES IN ACCORDANCE WITH BS EN 845-1:2003. MAX HORIZONTAL SPACING OF 900mm AND THE MAX VERTICAL SPACING OF 450mm TO ENSURE 2.5 TIES PER SQUARE METRE IN A DIAMOND FORMATION. THE WALL TIE LENGTH SHOULD PROVIDE A MINIMUM EMBEDMENT OF 65mm WHEN INCLUDING CONSTRUCTION TOLERANCES. THE TIES SHOULD BE AT A MAXIMUM OF 225mm VERTICAL CENTRES AT OPENINGS AND JOINTS, AND NO FURTHER THAN 225mm FROM EDGE OF AN OPENING/JOINT U.N.O.

47. ALL MASONRY BELOW DPC TO BE CERTIFIED BY THE MANUFACTURER AS SUITABLE FOR USE BELOW GROUND / FROST RESISTANT

STEELWORK NOTES

48. STEELWORK DETAILS AND WORKMANSHIP TO COMPLY WITH BS

49. ALL STRUCTURAL STEELWORK TO BE CE MARKED TO EXECUTION CLASS EXC2, ALL IN COMPLIANCE WITH THE REQUIREMENTS OF BS EN 1090-1:2009 & 1090-2:2018.

50. STEELWORK TO BE GRADE S275 TO BS EN 10025:2004 FOR BEAMS, PLATES AND ANGLE SECTIONS AND GRADE S355 CELSIUS TO BS EN 10210-1:2006 FOR HOT FINISHED HOLLOW SECTIONS.

51. BOLTS FOR STEELWORK TO BE GRADE 8.8 U.N.O. ON THE

52. ALL FILLET WELDS TO HAVE A 6mm LEG LENGTH UNLESS NOTED OTHERWISE ON THE DRAWINGS 53. GROUT BELOW BASEPLATE IS TO BE A FLUID 1:1 PORTLAND

CEMENT:SAND MIXTURE. 54. STEELWORK TO RECEIVE THE FOLLOWING CORROSION

PROTECTION INTERNAL STEELWORK

(i) ABRASIVE BLAST CLEAN TO BS 7079:2009 OR S.A. 2½ MEDIUM PROFILE. (ii) ONE COAT OF EPOXY ZINC PHOSPHATE TO A MIN. DFT OF 75

(iii) LOCALISED AREAS OF STEELWORK WHICH ARE IN CONTACT WITH THE CAVITY OF EXTERNAL OR PARTY WALL CONSTRUCTION SHALL RECEIVE TWO COATS OF BITUMEN

PAINT APPLIED TO A TOTAL DFT OF 250 MICRONS. 55. ALL STEELWORK TO ACHIEVE A MINIMUM OF 1 HOUR FIRE PROTECTION USING 15mm FIRELINE BOARD UNLESS NOTED APPROPRIATE SUBJECT TO SEEKING SPECIALIST ADVICE ON

SPECIFIC APPLICATIONS FOR REQUIRED FIRE RATINGS.

WINDOW / DOOR FRAME FIXINGS

56. ALL WINDOW / DOOR FRAMES TO BE SUPPORTED USING 'BAT' EXPAMET FRAME CRAMPS (FC1 FOR TIMBER FRAME AND SEFC250 FOR MASONRY) FIXED USING MIN. 2 No. 3.75Øx30lg SQ. TWIST NAILS INTO BOTH STUDS AND FRAMES FOR TIMBER KIT AND RAWL R-FX-N 08C80 8Ø FRAME FIXINGS @ 300 crs WITH 70 MIN. EMBEDMENT FOR MASONRY

57. FRAME CRAMPS TO BE POSITIONED 200mm FROM EVERY CORNER AND @ 600 crs.

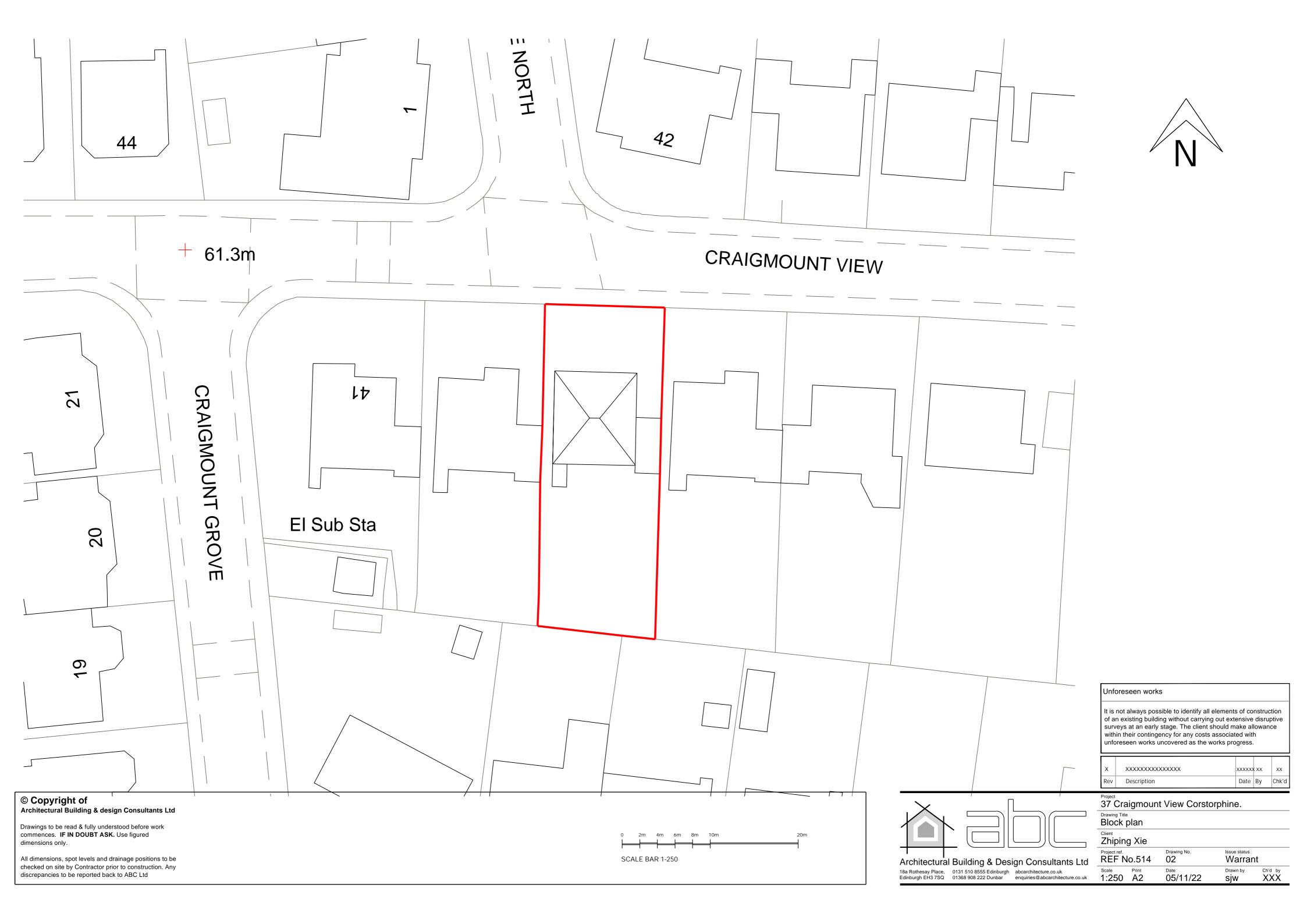
58. IF DURING ANY TYPE OF DEMOLITION, REFURBISHMENT OR CONSTRUCTION, AN UNKNOWN MATERIAL IS ENCOUNTERED IT IS TO BE ASSUMED THAT IT CONTAINS ASBESTOS. CONTRACTOR SHOULD STOP WORK IMMEDIATELY AND CONTACT CLIENT WHO SHOULD THEN FOLLOW THE GUIDANCE OF EM1 ASBESTOS ESSENTIALS BY THE HSE.

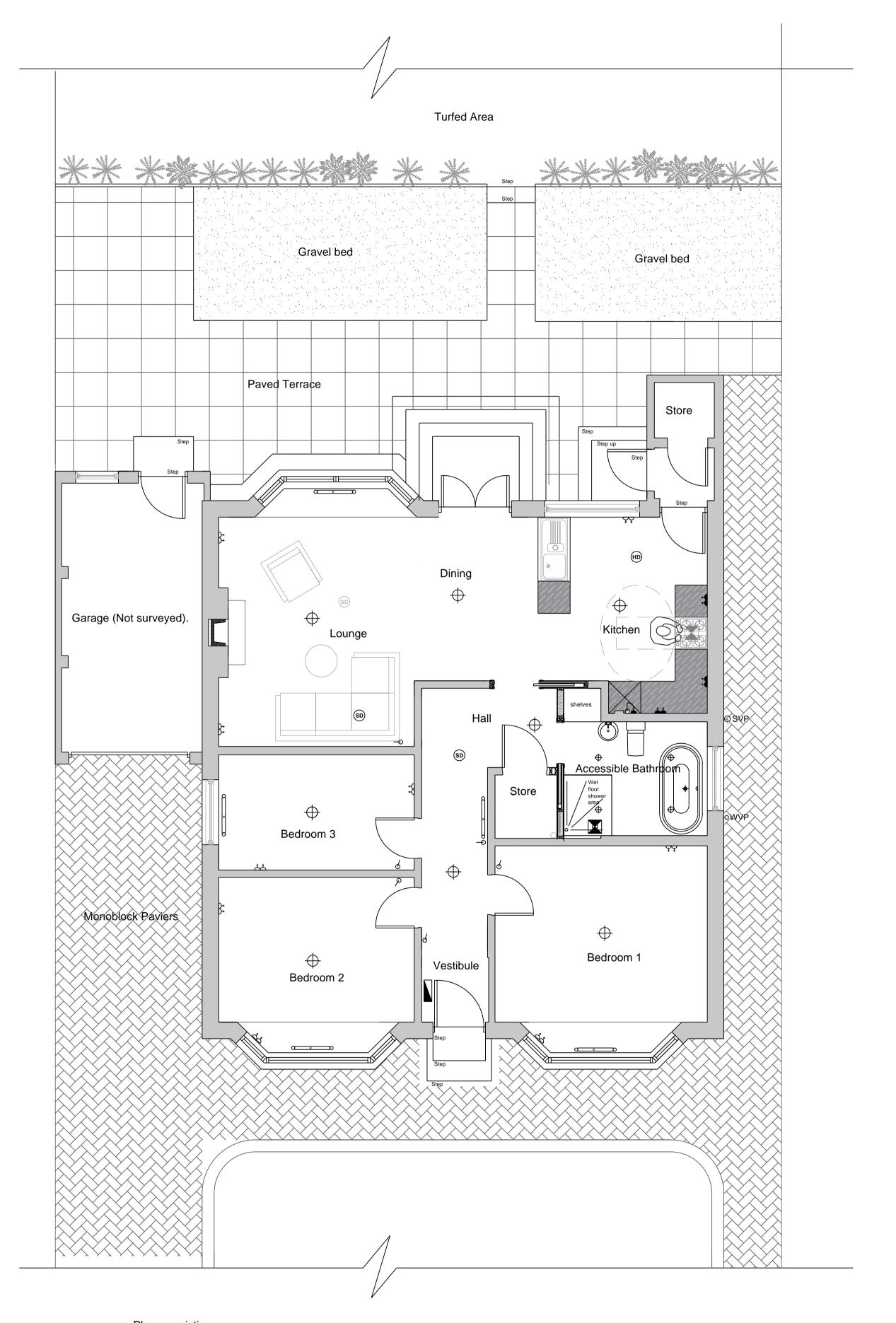


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proved Body Number | SER1-DB-0308 |









South elevation as existing

Plan as existing

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Drawings to be read & fully understood before work commences. **IF IN DOUBT ASK.** Use figured

dimensions only. All dimensions, spot levels and drainage positions to be checked on site by Contractor prior to construction. Any discrepancies to be reported back to ABC Ltd

0 0.5m 1m 1.5m 2m 2.5m SCALE BAR 1-50



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It is not always possible to identify all elements of construction of an existing building without carrying out extensive disruptive

surveys at an early stage. The client should make allowance within their contingency for any costs associated with unforeseen works uncovered as the works progress.

xxxxxx xx xx

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Unforeseen works

Supporting Statement:

rental accommodation.

parking for 3 vehicles.

The proposal put forward by the applicant are for the change of use of No.37 Craigmount View to form short term holiday

The applicant has also further upgrade facilities, widening the main access door, increased internal door widths and made changes to the main access plat with movable ramps to accommodate guests which have specific mobility needs. The applicant has a severely disabled son, which has given her first hand experience of the challenges involved when taking a person with a high level of personal needs out of their home environment to travel, she also has first hand evidence of the lack of STL accommodation in the Edinburgh city area which can accommodate a family or individual with carer's who require a high degree of personal assistance in every aspect of their day to day lives. It is from her experiences drawn upon, that she wishes to

provide a property which will be finished to a level suitable to

accommodate a person with these specific needs.

The existing building comprises a 3 bedroom detached bungalow, which has recently been renovated to include an open plan Kitchen/Living/Dining space at the rear of the property, along with works to the bathroom to allow the formation of a larger accessible wet floor sanitary facility. The property also includes a garage and adequate off street